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Cable Dahmer Arena Facility Assessment

Final Report // February 24, 2022

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Project Team

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Section 1 Project Summary

Project Summary

Image 1 – Cable Dahmer Arena – East Entrance

Project Overview

The project entails the assessment of the existing conditions of the Cable Dahmer Arena at 19100 East Valley View Parkway in Independence, Missouri. The purpose of this study is to assist the Independence Events Center Community Improvement District Board in identifying immediate maintenance issues as well as to plan for potential future capital expenditures for the facility.

Project Scope of Work

The scope of work includes the visual observation and assessment of the concrete sidewalks adjacent to the building; the exterior envelope including the roof, windows, doors, and exterior wall surfaces; the mechanical, electrical, plumbing, and fire protection equipment; the ice plant and associated equipment; the food service equipment; and finally, load bank testing of the emergency generator. Based on the visual observations and assessment of the existing building conditions, recommendations are made for improvements to the various systems.

The project has been organized into the following phases:

Kick Off Meeting

- Discussion of project goals and objectives.
- Review of project workplan, schedule and deliverables.
- Discussion of on-site logistics.

Data Gathering

- Review of existing drawings, specifications, and previous construction submittals.
- Review of existing maintenance records and previous assessments.

On-Site Visual Assessment

- Assessment of concrete sidewalks and paving adjacent to building.
- Assessment of existing exterior envelope (includes roof, windows, doors, and exterior wall surfaces).
- Assessment of existing mechanical, electrical, plumbing, and fire protection equipment.
- Assessment of ice plant and associated equipment.
- Assessment of food service equipment (includes cooking, refrigeration, and beer equipment).
- Load bank testing for emergency generator.
- Discovery discussions with maintenance staff.

Cost Opinions and Draft Reporting

- Preparation of opinion of replacement costs.
- Preparation of opinion concerning remaining life expectancy of reviewed systems.
- Preparation of draft schedule of conceptual phasing of proposed work/replacement.
- Preparation of draft report narrative.

Review Meeting

- Review of draft cost opinion and report.
- Discussion of conceptual phasing schedule of proposed work/replacement.
- Discussion of phasing and implications of escalation.

Final Report

- Summary of assessment process.
- Narrative, including photos, describing results of visual assessment.
- Cost opinion in CSI format including assumptions and clarifications.
- Conceptual phasing schedule of proposed work/replacement.

Assessment Methodology

The assessment team reviewed relevant project information, including drawings and maintenance records. Various team members discussed existing conditions and priorities with building maintenance staff. The team performed on site survey of the various systems between December 2021 and January 2022. See individual sections for more detailed information on assessment methodologies.

Team Structure

The team is structured as outlined below. SFS Architecture corresponds directly with the City of Independence. Additional consultants have been contracted under SFS to assist with specialized aspects of the project.

Owner

Name	Organization	Project Role	Phone	Email
Morris Heide	City of Independence	Director of Parks/Recreation/Tourism		mheide@indepmo.org
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Design Team

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Phasing Recommendations

The building is in good overall condition; however, it requires replacement of and repairs to the various building systems. A planned approach as outlined below will bring the facility up to current standards and set the building up to serve the City's needs for years to come.

The following rough order of magnitude (ROM) costs are in current dollar amounts and do not include escalation. Current escalation is approximately 3% per quarter and should be factored into future projects. Cost estimates do not include general contractor overhead, as it is assumed that vendors and subcontractors will be contracted directly with the City.

PHASE I (0-12 MONTHS)

Phase I repairs are recommended to be completed immediately. Work includes repair and replacement of the exterior concrete sidewalks, ramps and stairs; repairs to the roof; replacement of the exterior doors, frames and hardware; replacement of the non-functioning kitchen equipment and upgrades to the walk-ins; repairs to the mechanical, electrical and plumbing equipment; repairs to the ice plant and associated equipment; replacement of the arena seating; and replacement of the arena floor sealant.

The total cost for Phase I is $4,073,279.

PHASE II (1-2 YEARS)

Phase II repairs are recommended to be completed in one to two years. Repairs include additional repairs to the mechanical equipment; replacement of the refrigeration and ice machine equipment; and upgrades to the beer system.

The total cost for Phase II is $4,490,549.

PHASE III (2-5 YEARS)

Phase III repairs are recommended to be completed in two to five years. Repairs include repairs to the building envelope such as spot repointing of the brick veneer, replacement of the vertical sealant joints, painting of the stucco facades and overall façade cleaning; additional repairs to the mechanical, electrical and plumbing equipment; replacement of the cooking equipment; and replacement of the concessions warming equipment.

The total cost for Phase III is **$1,241,887.**

Section 2

Existing Conditions and Recommendations

Site

Concrete Sidewalks Adjacent to Building

SFS Architecture performed a visual survey of the concrete adjacent to the building on December 14, 2021. The sidewalks, curbs, ramps, and stairs were reviewed for cracking, spalling, and deteriorated sealant joints. Observations were noted on enlarged site plan drawings which are included in Appendix A. Documented conditions include the following:

1. Spalling concrete at curb
2. Crack, ¼" or greater
3. Crack, ¼" or less
4. Spalling at expansion joints
5. Uneven joint greater than ½"
6. Failed sealant joint
7. Spalling at control joint
8. Spalling at bollard

The sidewalks are constructed of 4" thick concrete with full-depth and partial-depth control joints and full-depth expansion joints. Curbs are also constructed of concrete in varying section profiles.

Existing Conditions

The concrete sidewalks, curbs, ramps, and stairs are approximately thirteen years old. The concrete exhibits spalling concrete at the curbs, expansion joints, control joints and bollards; cracking; uneven joints; and failed sealant joints. Reference the Appendix A for exact locations of deterioration.

Image 2 – Typical cracking at sidewalks.

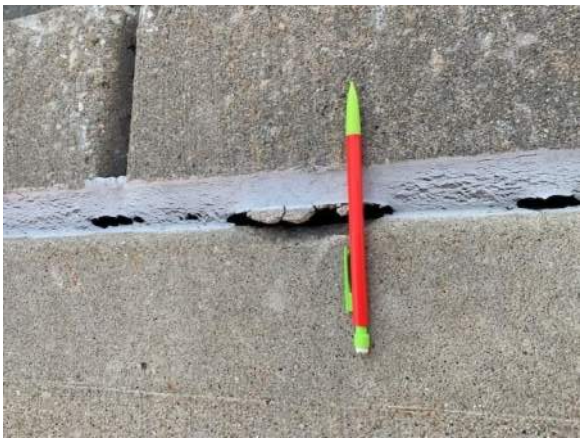


Image 3 – Failed sealant joint.

Image 4 – Spalling concrete at curb.

Image 5 – Spalling concrete at expansion joints.

Recommendations

The sidewalks, curbs, ramps, and stairs are in good general condition. With the following repairs, they should have a remaining service life of 15-20 years. Replace 100% of the sealant joints throughout the sidewalks and provide the following repairs. All new concrete shall match the existing concrete in mix design, color, and surface texture.

1. Spalled concrete at curb: Replace curb section. Match existing curb profiles.
2. Crack, ¼” or greater: Replace sidewalk section, joint to joint.
3. Crack, ¼” or less: Replace sidewalk section, joint to joint.
4. Spalling at expansion joints: Sawcut, pour back, and install expansion joint along brick pavers.
5. Uneven joint greater than ½”: Replace sidewalk section on each side of joint and level.
6. Failed caulk joint: Replace 100%.
7. Spalling at control joint: Replace sidewalk section, joint to joint and install new control joint.
8. Spalling at bollard: Remove loose concrete and patch sections with greater than 2” diameter loss.
9. Spalling at stairs: Remove loose concrete and patch repair tread corners at stairs.
10. Spalling at dock curb: Remove loose concrete and patch repair dock curb.

Building Envelope

Roof

On January 11, 2022, RTI Consultants completed a visual roof review on the Cable-Dahmer Arena. The purpose of the review was to provide an opinion of the condition of all roof areas, identify needed repairs, and an opinion of remaining life expectancies of each roof area.

Photographic documentation of the findings and observations as well as a roof plan identifying roof areas “A” – “O” are included in Appendix B. Original construction drawings dated November 20, 2008, were provided for our review. No additional information about the existing roof system was provided.

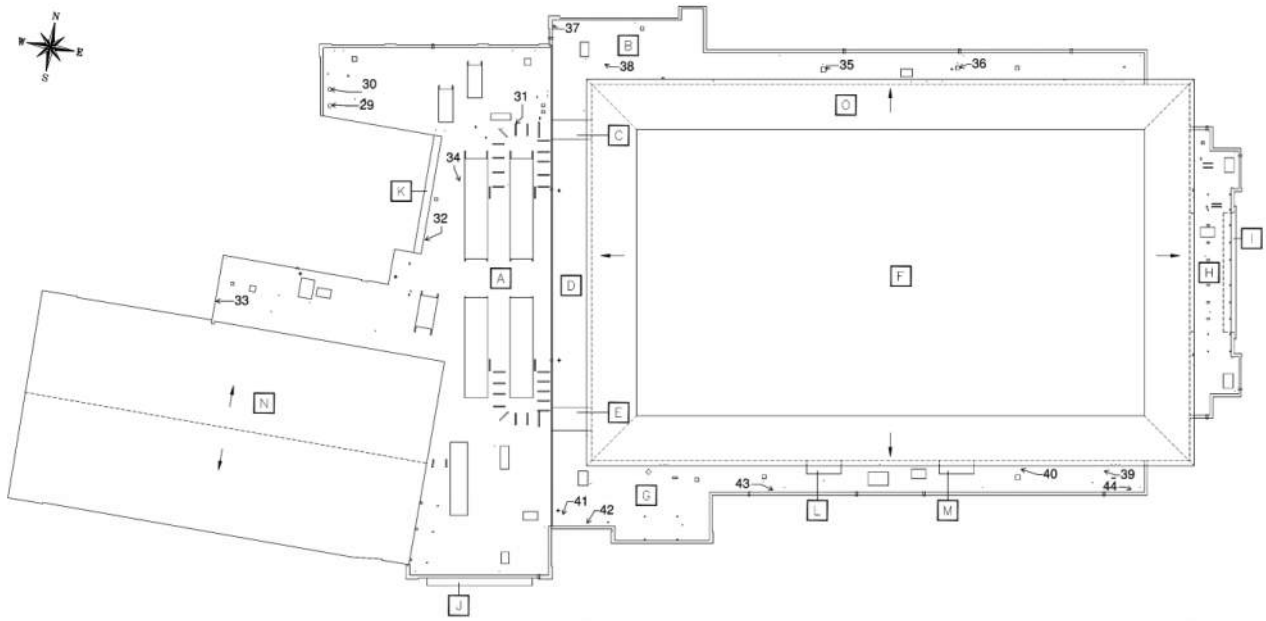


Figure 1 – Roof Plan Identifying Roof Areas (Not to Scale) – See Appendix B for enlarged plan.

The facility is constructed with fifteen separate roof areas. The roof system on thirteen of the roof areas is a single ply roof membrane (areas “A” – “M”) consisting of approximately 84,562 square feet. Existing documentation provided to our office indicates the single ply roof membrane areas have the following components:

- +/- one ply 60 mil white EPDM (Ethylene Propylene Diene Terpolymer)
- +/- .25-inch gypsum composite cover board
- +/- 2.3-inch polyisocyanurate roof insulation (R14)
- +/- 1.0-inch polyisocyanurate roof insulation (R6)
- Metal roof deck

Roof area “N” is installed with an architectural metal panel consisting of approximately 24,427 square feet with an approximate 4:12 roof slope. No existing documentation was provided to our office for this roof area so the substrate and thickness of roof insulation below the metal roof panel is unknown.

Roof area “O” is installed with an asphalt laminated shingle consisting of approximately 34,016 square feet with an approximate 12:12 roof slope. Existing documentation provided to our office indicates this roof area is installed with the following components:

- Asphalt laminated composite shingle
- +/- one ply self-adhering underlayment
- +/- 3.7-inch Composite sheathing (OSB laminated to polyisocyanurate R20.4)
- Metal roof deck

The size and type of each roof system is identified in the table below.

Area	Sq. Ft.	Type of Roof System
A	+/- 24,037	60 mil White EPDM
B	+/- 6,857	60 mil White EPDM
C	+/- 210	60 mil White EPDM
D	+/- 2,850	60 mil White EPDM
E	+/- 252	60 mil White EPDM
F	+/- 39,202	60 mil White EPDM
G	+/- 6,933	60 mil White EPDM
H	+/- 3,094	60 mil White EPDM
I	+/- 410	60 mil White EPDM
J	+/- 218	60 mil White EPDM
K	+/- 247	60 mil White EPDM
L	+/- 126	60 mil White EPDM
M	+/- 126	60 mil White EPDM
N	+/- 24,427	Architectural standing seam metal panel
O	+/- 34,016	Asphalt laminated shingle
TOTAL:	**+/- 143,005**	

Existing Conditions

The existing roof system on all areas is approximately thirteen years old. We have identified the following deficiencies on specific roof areas and have also identified the approximate location of each deficiency photo on the roof plan included with this report:

Area “A”

1. Deteriorated sealant on storm collars around two large flue pipes (photos 29, 30).
2. Open base flashing lap on roof curb flashing (photo 31).
3. Miscellaneous debris on roof surface (photos 32, 33).
4. Coating on roof membrane from previous repairs (photo 34).

Area "B"

1. Two exhaust fans are not attached to roof curb (photos 35, 36).
2. Water behind wall base flashing membrane (photo 37).
3. Coating on roof membrane from previous repairs (photo 38).

Area "G"

1. Roof insulation appears to have been "crushed" below walk pads adjacent to wall approximately 9' x 63' (photos 39, 40).
2. Debris on roof surface (photos 41, 42, 43, 44).

No roof deficiencies were noted on areas C, D, E, F, H, I, J, K, L, M, N.

Recommendations

In our opinion, the existing low slope roof areas ("A" – "M") are in good condition, need minor maintenance/repairs, and have a remaining service life of 10-12 years. In our opinion, the existing steep slope architectural metal roof system ("N") is in good condition and has an estimated remaining service life of 20-25 years. In our opinion, the existing steep slope asphalt shingles (area "O") are in good condition and have an estimated remaining service life of 10-12 years.

At this time, we recommend repairs to all noted deficiencies including the removal of suspected damaged roof insulation on area "G".

An estimated cost for removal of noted debris and repairs to all items noted except for replacing damaged roof insulation on roof area "G" is $4,600.00. In our opinion, removal of damaged roof insulation on area "G" should consist of the following scope of work:

1. Remove roof system to metal roof deck in an area approximately 9' x 63'
2. Mechanically attach new polyisocyanurate roof insulation to metal roof deck matching existing insulation thickness.
3. Adhere new 0.5-inch gypsum composite cover board insulation to polyisocyanurate roof insulation with foam adhesive.
4. Fully adhere one ply 60 mill EPDM membrane to cover board roof insulation.
5. Install new rubber walk pads provided by roof membrane manufacturer.

In our opinion, an estimated cost for the replacement of the damaged roof insulation on roof area "G" as described above is approximately $24,750.00.

The roof condition described in this report represent conditions that existed at the time the roof evaluation was performed. To achieve the maximum life expectancy of this roof system, we recommend the performance of an annual roof evaluation to identify conditions that can shorten the life expectancy.

Windows and Doors

SFS Architecture performed a visual survey of the windows and doors on December 14, 2021, and January 18, 2022. The windows and doors were reviewed for cracked glass, broken seals, missing or displaced gasketing, and deteriorated finish. Observations were made from grade via binoculars and up-close from the interior of the building where accessible. Select doors were opened where unlocked to check door operability. Building maintenance staff provided further information regarding the condition of the doors. Observations were hand noted on elevation drawings which are included in Appendix A.

The windows and main entrance doors are constructed primarily of aluminum storefront frames with a dark bronze finish and 1” clear low-E insulated glass. One-inch-thick insulated spandrel panels conceal the second-floor structure at the large arched entrances. The loading dock man doors are constructed of painted flush metal doors with painted 2” hollow metal frames. The loading dock overhead doors are constructed of pre-finished steel coiling doors with steel angle guides. Backer rod and sealant seal the joints between the window and door frames and the opening material (CMU, precast concrete panel, brick veneer, and stucco).

Existing Conditions

The aluminum storefront windows and doors are approximately thirteen years old. The aluminum storefront systems exhibit no visible cracked glass and broken seals, and no missing or displaced gasketing. The bronze aluminum frames exhibit minor color fading typical of a building of this age. Some scuff marks were visible on the window frames. The aluminum doors that were tested were in good working condition; however, bi-annual maintenance is required to keep the doors in operable condition. The southeast entrance is settling requiring constant maintenance and grinding down of the frames.

The hollow metal doors and frames at the west loading dock elevation and Community Ice Building are also approximately thirteen years old. The doors and frames exhibit paint degradation and heavy rusting of the frames at the bottom six inches, likely due to the use of salts at the sidewalks during the winter months.

The sealant joints around the doors and window frames are dry, cracked and crazed.

Recommendations

In our opinion, the aluminum storefront windows are in good condition, and have a remaining service life of 17-27 years with the maintenance or replacement of individual components such as gasketing and glass on an as needed basis. The aluminum doors require constant maintenance and the City’s preference is to replace them. The hollow metal doors and frames are in fair condition, and the City’s preference is to replace them. All sealants are near the end of their useful life.

Replace 100% of the backer rod and sealant joints around all window and door frames. Replace ten (10) single and nine (9) pair of hollow metal doors and frames with new FRP doors in aluminum frames. Replace all existing aluminum doors and thresholds with new aluminum doors and hardware to include full-length hinges.

Image 6 – Typical aluminum-framed windows.

Image 7 – Interior detail of aluminum-framed windows.

Image 8 – Discoloration at base of doors.

Image 9 – Rusting at base of metal frames.

Image 10 – Deteriorated sealant joint.

Exterior Wall Surfaces

SFS Architecture performed a visual survey of the exterior wall surfaces on December 14, 2021, and January 18, 2022. The wall surfaces were reviewed for cracking, spalling, and staining. Observations were noted on enlarged elevation drawings which are included in Appendix A. Documented conditions include the following:

1. Rust staining
2. Cracking
3. Biological / atmospheric staining
4. Previous patch repairs
5. Efflorescence (white staining)

The exterior wall surfaces are composed of 13” thick precast concrete sandwich wall panels (with integral rigid insulation covered with aluminum frame); thin brick veneer in a running bond pattern with buff-colored mortar; integral buff-color stucco walls and soffits at the upper bowl; and prefabricated metal parapet caps, gutters and downspouts (see roofing section for caps, gutters and downspouts).

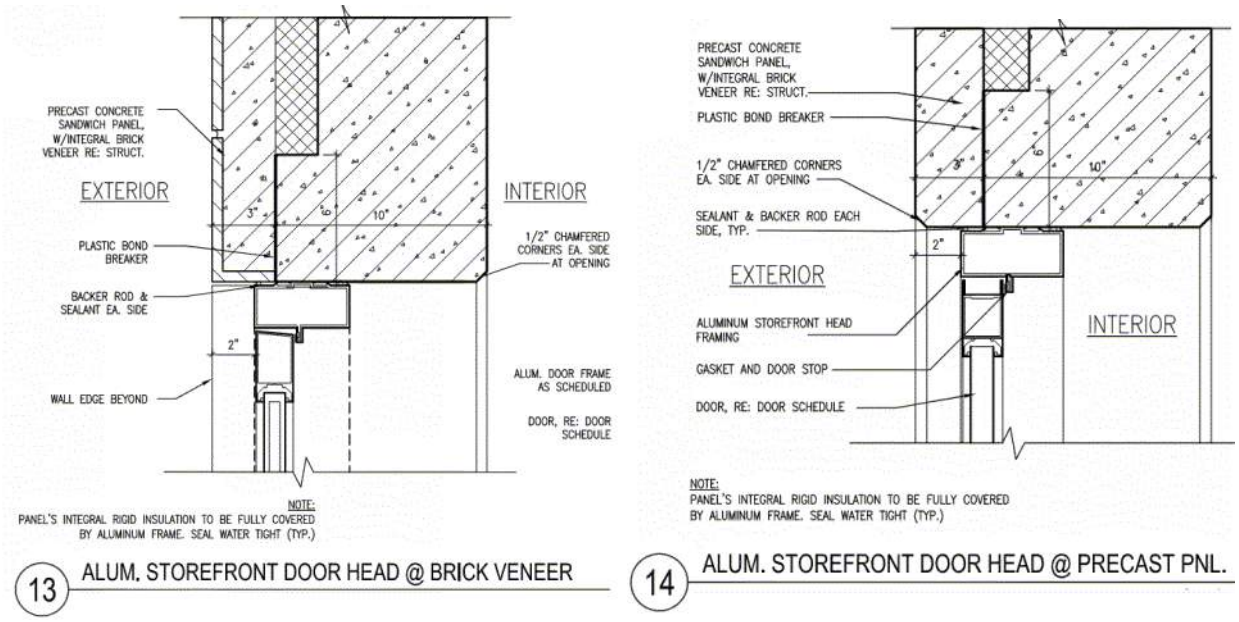


Image 11 and Image 12 – Typical wall details showing precast panels and brick veneer assembly at aluminum storefront door heads (11/20/08 Construction Set).

Image 13 – Typical running bond brick veneer.

Image 14 – Hairline cracking in precast panel.

Image 15 – Precast concrete panels with rust staining.

Image 16 – Deteriorated sealant at expansion joint.

Image 17 – White surface film on veneer brick.

Image 18 – Biological staining adjacent to leader.

Image 19 – Hairline cracking in stucco.

Existing Conditions

The exterior wall surfaces are approximately thirteen years old. Biological growth and atmospheric staining were observed on all wall surfaces in building corners and on facades that do not receive adequate sunlight to fully dry the surfaces. This type of staining was also prevalent at areas adjacent to open seams in the parapet caps, gutters, and downspouts, and below windowsills.

The concrete wall panels are in good condition. Rust staining was observed throughout the facades. The rust staining is possibly due to iron deposits within the original concrete wall panel mix. These areas do not appear to be causing imminent damage to the concrete walls. Hairline cracking was also observed throughout the concrete wall panels. These areas hold water but do not appear to be causing imminent damage to the concrete walls. There was no spalling concrete or panel displacement observed.

The thin brick veneer is also in good condition. There are areas of white efflorescence staining and areas with a white film on the brick. Some recent repointing campaigns do not match the original mortar color. There are minor areas of damaged and cracked brick.

The stucco exhibits several vertical hairline cracks throughout all facades.

Recommendations

The exterior wall surfaces are in good condition. With the following repairs, they should have a remaining service life of 20-35 years. Repair the caps, gutters, and downspouts per the roofing section of this report prior to making repairs to the exterior wall surfaces. All parapet cap, gutter, and downspout seams shall be made watertight. Clean the biological growth, atmospheric staining and efflorescence using the least invasive means of cleaning as possible. Repoint open mortar joints and replace non-matching mortar joints with new mortar matching the color of the original mortar color. Repaint 100% of the stucco with a paint formulated for stucco substrates. Monitor hairline cracks in the concrete wall panels for increase in size and spalling concrete adjacent to the cracks.

Mechanical, Electrical, Plumbing and Fire Protection

Mechanical

System Description The majority of the Main Arena and Community Ice Rink are conditioned by multiple packaged rooftop units that are equipped with direct expansion cooling coils and natural gas fired burners. Various terminal units located throughout the facilities supplement the rooftop units and provide conditioning to smaller spaces. There are various exhaust fans that serve kitchens, restrooms, mechanical/electrical rooms, and other general exhaust needs. Two natural gas fired boilers provide heating hot water to the hot water terminal units. The mechanical equipment is controlled by a Siemens building automation system (BAS). Additional details about this equipment can be found in the Existing Conditions section below.

Assessment Methodology / Process Our team completed a visual inspection of the existing mechanical system. We inspected the major equipment and a portion of the terminal units where accessible. We also interviewed the facilities staff while on site to get a better understanding of the existing conditions.

Existing Conditions

Rooftop Units All of the rooftop units (RTUs) were visually inspected, and the results of the inspection are shown in Appendix C. Most of the access panels required special tools to open, and all interior components could not be fully inspected. However, exterior inspections were able to be provided on all units and limited interior inspections on the larger units. In general, the following conditions were found:

- Burner Condensate Leakage: There were signs of condensate leakage from the natural gas burners. The picture below shows one of the larger RTU burners that has leaked, and the leaks have been sealed with the red caulking shown. However, caulking the leaks is a temporary fix that will continue to have to be monitored and maintained. Over time, the corrosive condensate will continue to make these leaks worse resulting in combustion gases from the burner making their way into the air stream instead of the flue.

Image 20 – One of the larger RTUs that has leaked.

- Damaged Condenser Coils: The majority of the condenser coils on the RTUs were found to be damaged by the weather (i.e. hail) and dirty. The damage to the coil fins and the dirt/debris limits the condensers' ability to remove heat from the refrigeration circuit resulting in a less efficient cooling system and longer run times for the compressors and fans shortening their service life.

Other Issues: Below are issues that were found for specific RTUs from the inspection and conversations with the facilities staff and maintenance personnel.

- RTU-24-4: This unit serves the Community Ice Rink and the maintenance technician indicated this unit seems to operate nonstop which may be a sign it is undersized.
- RTU-31-1 & RTU-33-1: The facilities staff feels these units are undersized since they have to close the outside air dampers in the summer months in order to provide enough cooling.
- RTU-33-2 & RTU-33-3: The facilities staff said that these units should be flip-flopped. They believe RTU-33-2 is undersized and RTU-33-3 is oversized.
- RTU-25-3: The bird/hail screen for the condenser coil has fasteners that have been disconnected from the unit limiting the protection of the coil (see picture below).

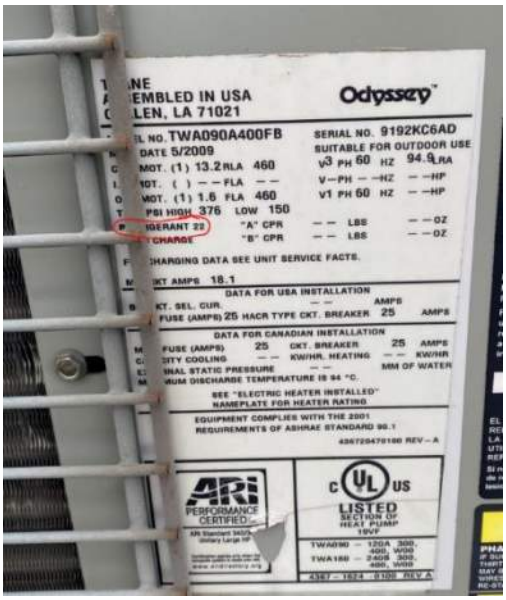
Remaining Life: The ASHRAE Handbook – HVAC Applications show a Median Service life of 15 years for Rooftop Air Conditioners. However, factors such as exposure to extreme weather (i.e. - hail, wind, temperature changes), run times, etc. can decrease the Median Service life. The RTUs are approximately 13 years old and are very close to or at the end of their Service Lives based on their age and condition.

Air Conditioning Units All of the condensers for the air conditioning units were visually inspected, and the results of the inspection are shown in Appendix C. The evaporator coils and supply fans are in an enclosure within the ceiling space and were not inspected. In general, the following conditions were found:

- Damaged Condenser Coils: The majority of the condenser coils for the air conditioning units were found to be damaged by the weather (i.e. hail) and dirty. The damage to the coil fins and the dirt/debris limits the condensers' ability to remove heat from the refrigeration circuit resulting in a less efficient cooling system and longer run times for the compressors and fans shortening their Service life.

- Deteriorating Base Supports: The 4”x4” wood base supports for condensing units CU-31-2 and CU-32-2 were found to be significantly deteriorated. This deterioration keeps the conditioning unit from being level. Multiple issues can occur if the condenser is not level. These issues include damage to the fan motor, trapped oil/refrigerant, excess vibration, etc. that all result in shortening the life of the air conditioning unit.

- R-22 Refrigerant: The U.S. Government issued a requirement that R-22 refrigerants must be eliminated from use in all new cooling systems by 2020. R-22 refrigerant can no longer be manufactured either. This ban allows existing equipment utilizing R-22 refrigerant to remain but, the supply of R-22 is very limited since it is no longer manufactured. This results in costly repairs and charging of the any existing equipment using R-22 refrigerant. There are multiple air conditioning units that utilize R-22 refrigerant as their cooling medium.



- Refrigerant Piping Insulation: The exterior refrigerant piping insulation coating/paint has begun to flake off exposing the insulation to the sunlight (UV rays) and weather. This exposure has resulted in deterioration of the insulation that will continue to increase over time.

- Controls: The facilities staff indicated the Liebert air conditioning unit controllers no longer work. The facilities staff must manually monitor the space temperature and thermostats.

Remaining Life: The ASHRAE Handbook – HVAC Applications show a Median Service life of 15 years for Air Conditioners. However, factors such as exposure to extreme weather (i.e. - hail, wind, temperature changes), run times, etc. can decrease the Median Service life. The Air Conditioners are approximately 13 years old and are very close to or at the end of their Service Lives based on their age and condition.

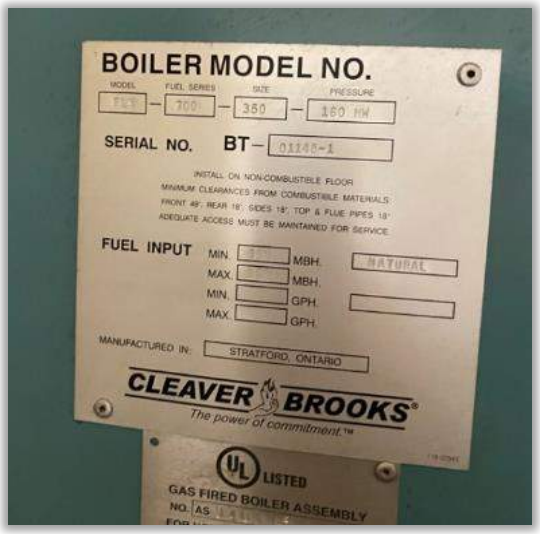
Exhaust Fans All of the rooftop exhaust fans were visually inspected, and the results of the inspection are shown in Appendix C. In most cases, the damper and fan/motor could not be accessed. The inline fans serving the Telecom Rooms and the Bowl Relief Smoke Exhaust Fans were not inspected in detail. In general, the following conditions were found:

- Grease & Debris Build Up: EF-21-1 that serves the Commissary Kitchen Exhaust Hood was found to have grease built up on its fan blades. EF-21-2 that serves the Commissary Dishwasher Exhaust was found to have debris in the fan that may have come from hard water/minerals/chemicals in the dishwasher exhaust stream. EF-32-2 that serves the Grille Exhaust Hood Event Level had grease build up in the fan housing because the grease drain looked to be clogged.

- Missing Fasteners: Some of the fasteners for the fan's housing and curb were found to be missing on EF-21-3, EF-21-4, EF-25-1, EF-32-3, and EF-33-2.

Remaining Life: The ASHRAE Handbook – HVAC Applications show a Median Service life of 20 years for Fans Ventilating Roof-Mounted. However, factors such as exposure to extreme weather (i.e. - hail, wind, temperature changes), run times, etc. can decrease the Median Service life. The Exhaust Fans are approximately 13 years old and still have 5-10 years of useful life left based on their age and condition.

Heating Hot Water System Two natural gas fired, forced draft boilers provide heating hot water to unit heaters and air curtains located throughout the building. The boilers are original and seemed to be in good working condition, visually/physically. The two boiler circulation pumps and two building circulation pumps were found to be in fair condition, some visual deterioration but generally in good working condition. The facilities staff indicated they have to maintain a heating hot water supply temperature of 120F year-round in order to keep the grooved mechanical fittings from leaking. Additionally, insulation on some of the pipe fittings has been removed.

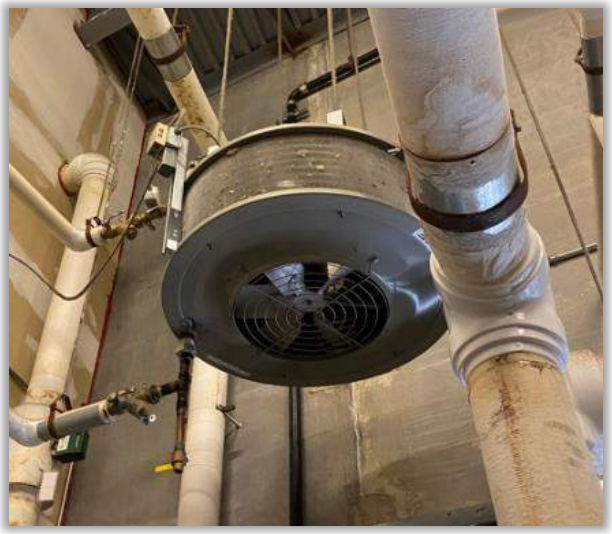


The sealant on one of the boiler flues has deteriorated over time, allowing rainwater to run down the exterior of the flue causing it to rust.

Remaining Life: The ASHRAE Handbook – HVAC Applications show a Median Service life of 25 years for Boilers Hot-Water and 10 years for Pumps Pipe-Mounted and 20 years for Pumps Base-Mounted. Since the pumps are pipe-mounted but supported by the floor, the Median Service life is approximately 15 years. The boilers and pumps are approximately 13 years old, leaving approximately 10-15 years of useful life for the boilers and 5 years for the pumps.

Terminal Units There are various terminal units located throughout the building that serve smaller spaces or provide perimeter heating to larger spaces.

Hot water unit heaters and cabinet unit heaters provide heating to the mechanical rooms, loading dock, stairwells and vestibule. Visual inspection of the heaters did not reveal any issues and appeared to be in good working condition. The coils of the unit heaters in the boiler room had some dust/debris on them that can easily be cleaned off.



Hot water air curtains provide heating whenever the loading dock doors are opened. Visual inspection of the heaters did not reveal any issues and appeared to be in good working condition.

Natural gas fired, radiant heaters provide perimeter heating to the Community Ice Rink. Visual inspection of the heaters did not reveal any issues and appeared to be in good working condition. However, one of the heaters did have a flue pipe disconnected that needs to be repaired.

Remaining Life: The ASHRAE Handbook – HVAC Applications show a Median Service life of 20 years for Unit Heaters Hot-Water and 18 years for Furnaces Gas (i.e. radiant heaters). The unit heaters/air curtains and radiant heaters are approximately 13 years old, leaving approximately 5-10 years of useful life for the unit heaters/air curtains and 5 years for the radiant heaters.

Recommendations

M1: Phased Replacement of All RTUs ASHRAE published data for equipment expected lifespan is 15 years for RTUs. All this equipment is nearing the end of its expected lifespan. Phased replacement is recommended per the Replacement Priority shown in Appendix C. “L” is Low Priority; “M” is Medium Priority and “H” is High Priority. This would renew equipment reliability for the arena and create energy savings. Replacement priority based on input from owner considering maintenance/repair history, and energy efficiency.

M2: Replacement of RTU-24-4 Serving the Community Ice Rink RTU is said to be undersized and runs continuously at full load during peak times to try to maintain low humidity levels within the space. Replacement which will net some good energy savings.

M3: Reconfirm Cooling Loads for RTUs 31-1, 33-1, 33-2 & 33-3 The facilities staff feels RTUs 31-1, 33-1, and 33-2 are undersized based on their current operation – i.e. RTU 31-1 and 33-1 outside dampers have to be closed in the summer months in order to provide enough cooling. The staff also feels RTU-33-3 is oversized. This recommendation includes re-evaluating the current loads and confirming the current is correctly sized to accommodate these loads. RTUs will need to be replaced if cooling loads don’t match equipment sizes.

M4: Reconnect RTU-25-3 Condenser Coil Bird/Hail Screen The bird/hail screen protecting the RTU-25-3 condenser coil was found to be disconnected to some of its fasteners exposing a portion of the coil to the elements. This item includes reconnecting the screen to the unit.

M5: Comb Air Conditioning Unit Condenser Coils The air conditioning condenser coils were found to be in better condition than the RTU condenser coils. Therefore, simply having the coils combed in lieu of a full replacement will help the coil reject heat from the refrigeration circuit and improve the operation of the air conditioning system.

M6: Replace Air Conditioner Base Support Replace the 4”x4” wood supports with a rubber mounting base kit, or similar material, that won’t deteriorate over time. This will ensure the unit remains level over its lifespan.

M7: Replace R-22 Refrigerant Air Conditioning Systems Replace each of the air conditioners that are currently using R-22 refrigerant with units that use a refrigerant that is approved by the U.S. Government and is readily available.

M8: Install Exterior Refrigeration Pipe Insulation Coating Reapply the weather barrier mastic on the exterior refrigeration pipe surfaces. Another more costly option would be to install an aluminum jacket on the pipe insulation, eliminating the need to maintain the weather barrier mastic. This recommendation also includes replacing any of the insulation that has been damaged due to its exposure to the elements.

M9: Replace Liebert Air Conditioning Unit Controls Replace the Liebert air conditioning unit controllers so the facilities does not have to manually monitor the temperatures of the spaces these units serve.

M10: Phased Replacement of All Air Conditioning Units ASHRAE published data for equipment expected lifespan is 15 years for Air Conditioners. All this equipment is nearing the end of its expected lifespan. Phased replacement is recommended per the Replacement Priority shown in Appendix C. “L” is Low Priority; “M” is Medium Priority and “H” is High Priority. This would renew equipment reliability for the arena and create energy savings. Replacement priority based on input from owner considering maintenance/repair history, and energy efficiency.

M11: Remove Grease & Debris From Exhaust Fans This recommendation includes removing the grease from the fan blades, fan housing and grease drain of exhaust fans EF-21-1 and EF-32-2. It also includes removing the debris from EF-21-2.

M12: Replace Missing Fasteners on Exhaust Fans Replace all fan housing and roof curb fasteners found to missing on exhaust fans EF-21-3, EF-21-4, EF-25-1, EF-32-3, and EF-33-2.

M13: Evaluate/Repair Grooved End Pipe Fittings This recommendation includes evaluating and investigating why the heating hot water system’s grooved end pipe fittings leak whenever the water temperature falls below 120F. Fixing this will result in natural gas utility savings since the boilers won’t have to be operated in the summertime to maintain the 120F water temperature.

M14: Install Insulation on Hot Water Pipe Fittings It appears the insulation was removed from the hot water pipe fittings in order to investigate the grooved end fittings that have been leaking. This item includes re-installing pipe insulation on the fittings where it has been removed. Installing the insulation will result in heating energy cost savings. This recommendation should only be implemented if recommendation M12 is completed.

M15: Reconnect Radiant Heater Flue Pipe This recommendation includes reconnecting the disconnected flue pipe. The flue pipe looked to be in good condition and will be reused to the greatest extent possible.

M16: Pursue Utility Rebates Independence Power & Light (IPL) offers up to $20,000 per year for qualifying new construction or retrofit of HVAC equipment. This recommendation includes pursuing possible rebates and phase equipment upgrades over a certain time period to help break up the cost as well as qualify for rebates during consecutive years.

Electrical

System Description The facility electrical supply is fed by (2) utility transformers located in the service yard north of the community ice center. Power is transformed to 480/277V and feeds (2) main circuit breakers in the service entrance electrical gear labeled MSB1-1 and MSB1-2. From the main switchboard power is distributed throughout the facility utilizing a network of high voltage panels (480/277V), transformers and low voltage panels (208/120V). Emergency distribution is provided by a single emergency standby diesel generator through a generator distribution panel. Additional details about this equipment can be found in the Existing Conditions section below.

Assessment Methodology / Process Our team completed a visual inspection of the existing Electrical systems. We inspected the major distribution equipment and emergency generator system. We also interviewed the facilities staff while on site to get a better understanding of the existing conditions.

Existing Conditions

Normal Power Distribution The main electrical switchboards are located within a dedicated space adjacent to the utility service yard. Each main breaker is rated for 4000A at the service voltage. MSB1-1 feeds the larger process loads (mechanical roof top units and ice systems) and MSB1-2 feeds the lighting, receptacles and smaller mechanical loads throughout the facility. Distribution of the electrical equipment is separated into four quadrants on the concourse level around the perimeter of the main arena.

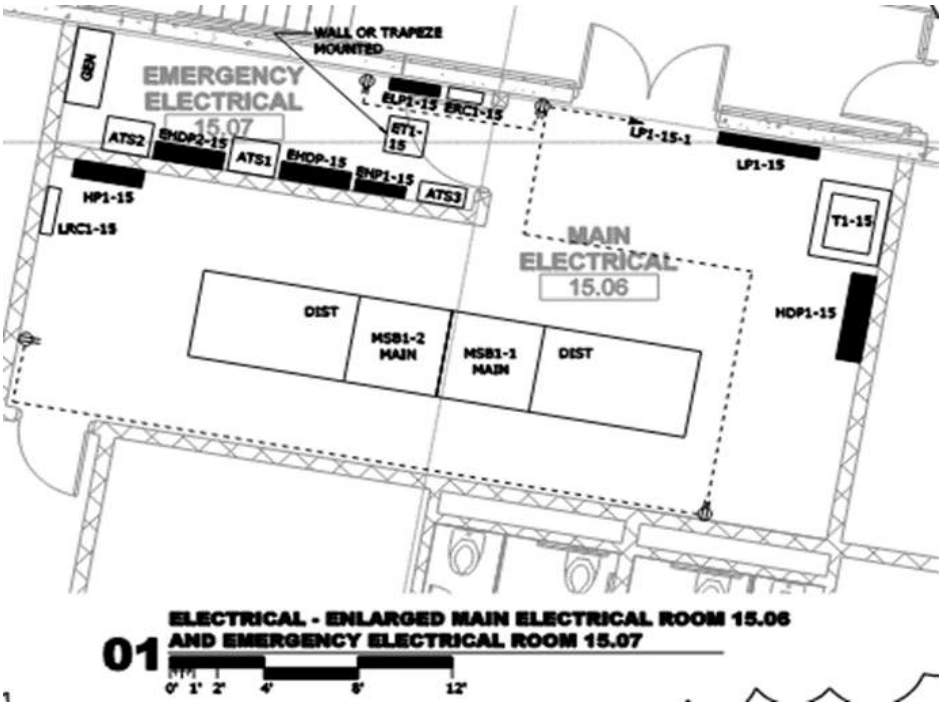


Image E-001 – Layout of Main and Emergency Electrical Rooms

Image E-002 (left): MSB1-1 with single distribution section

Image E-003 (right): MSB1-1 Main Circuit Breaker

Image E-004 (left): MSB1-2 with (2) distribution sections

Image E-005 (right): MSB1-2 Main Circuit Breaker

Remaining Life: Overall, the main electrical gear, associated distribution panels and transformers are in good condition. At approximately 13 years of service life, the equipment is halfway through the life expectancy of 25-30 years under normal operating conditions.

Emergency Power Distribution A single emergency generator is located within the service yard adjacent to the Emergency Electrical Room and feeds a single generator distribution panel GDP. The generator, Kohler Model No: 500REOZVB, has a diesel belly tank and is housed in an acoustical enclosure. The GDP is rated for 800A at 480/277A and feeds (3) automatic transfer switches and a single manual transfer switch for the ice chiller plant. Automatic transfer switch ATS-1 is rated for 600A, ATS-2 for 600A and ATS-3 for 100A. Manual transfer switch MTS-1 is rated for 400A.

Image E-006 (left): Emergency Generator in service yard.

Image E-007 (right): Emergency Generator air intake opening.

Image E-008 (left): Generator Distribution Board-GDP with (4) breakers for transfer switches

Image E-009 (right): Automatic Transfer Switches: ATS-1 and ATS-2

Image E-010 (left): Automatic Transfer Switch: ATS-3

Image E-011 (right): Manual Transfer Switch: MTS-1

Remaining Life: Overall, the emergency generator and transfer devices are in good condition. The exterior housing of the generator is starting to show some wear from the exterior elements. At approximately 13 years of service life, the equipment is halfway through the life expectancy of 25-30 years under standby operating conditions. According to facility management, the generator is started weekly and runs for an hour for general maintenance. As part of this facility assessment, the generator was put under a 4-hour load bank test to raise the generator set up to operating temperatures and capacity. The results of the testing are shown in Appendix D. The generator was found to be in good working order and passed test requirements.

Lighting Systems Lighting control is achieved through relay panels and localized control at individual areas. In general, the lighting systems have gone through some retrofit and replacement since the facility has been constructed and occupied. Overall, the lighting is in fair to good condition and routine maintenance is all that is required at this time.

Arenas: The main arena and the community ice arena have been fully converted from the original Metal Halide and Compact Fluorescent fixtures to LED based lighting systems within the past few years. All conversions have been successfully installed and are functioning as desired.

Public Areas: The majority of the lighting fixtures in the public areas are comprised of compact fluorescent downlights. As lamps fail at each individual fixture, they have been converted to a retrofit LED A-lamp solution.

Back of House Areas: The majority of the lighting fixtures in the back of house areas are comprised of compact fluorescent downlights and linear fluorescent troffers. As lamps fail at each individual downlight fixture, they have been converted to a retrofit LED A-lamp solution.

Exterior: The parking lighting has been converted from the original HID fixtures to an LED pole solution. LED Façade lighting has been added at the roof level for aesthetic purposes.

Lightning Protection System

Image E-012 (left): Lightning Protection Air Terminal and Downlead

Image E-013 (right): Lightning Protection Downlead and Thru-Roof Connection

Image E-014 (left): Lightning Protection conductor free from Roof Cable Holder

Image E-015 (right): Lightning Protection conductor free from Roof Cable Holder at Exhaust Fan

Remaining Life: Overall, the lightning protection system is in fair condition. The system is starting to show some wear from the exterior elements. At approximately 13 years of service life, the equipment is halfway through the life expectancy of 25-30 years under normal operating conditions.

Recommendations

E1: Continued Conversion of Lighting Source to LED As compact fluorescent sources reach end of life, LED lamping is recommended to be retrofit into existing fixtures. The conversion will not only create continuity but result in energy savings over the life of the system.

E2: Replace Batteries in Generator As part of the completed load bank test on the generator it was discovered that the current batteries are over (5) years old. The manufacturer recommends replacing the batteries every (2) years. Included in the generator load bank test report is a cost associated for the replacement batteries to be furnished and installed.

E3: Schedule Inspection of Lightning Protection System It is recommended that lightning protection systems be visually inspected yearly for loose connections, damage from events and weather corrosion. As shown in images E-014 and E-015 there are connections that have come free from the cable holders. Additionally, in-depth inspections shall be completed every 3-5 years to ensure compliance with the most current edition of NFPA 780.

Plumbing

System Description There are many spaces throughout the Main Arena and Community Ice Rink that have plumbing fixtures/service. The spaces include restrooms, locker rooms, kitchens, concession stands and suites. There is a domestic hot water heating system in the boiler room of the Main Arena and a domestic hot water system in the ice chiller room of the Community Ice Rink.

Assessment Methodology / Process Our team completed a visual inspection of the plumbing fixtures and associated piping that wasn't concealed. Additionally, we completed a visual inspection of the domestic water heaters and associated pumps and piping.

Existing Conditions

Plumbing Fixtures

- Restrooms and Locker Rooms: The plumbing fixtures in the restrooms and locker rooms include lavatories, water closets, urinals, and showers (for locker rooms). The lavatories are wall-mounted and equipped with 2.2 gallon per minute (GPM) manual faucets. The water closets are wall-mounted and equipped with 1.6 gallons per flush (GPF) manual flush valves. The urinals are wall-mounted and equipped with 1.0 GPF manual flush valves. Visual inspection of these plumbing fixtures did not reveal any issues with them and they are appeared to be in good working condition.

Figure P-1

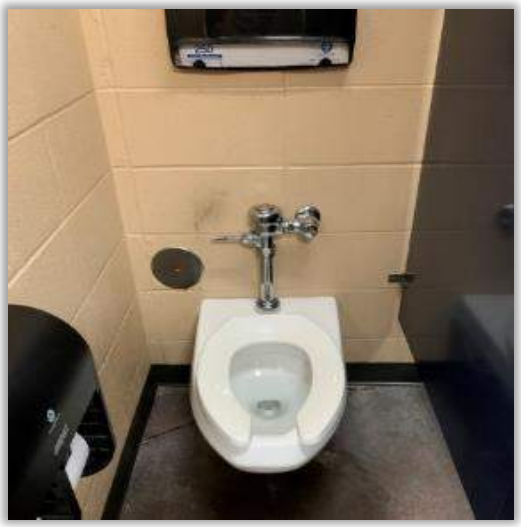


Figure P-2

Figure P-3

Figure P-4

Figure P-5

- Kitchens and Concession Stands: The plumbing fixtures in the kitchens and concession stands include multiple compartment sinks and lavatories for hand washing. The concession stands also include countertop drain pans for the beverage taps that are piped directly to a floor drain. Each of the sinks and lavatories are equipped with 2.2 GPM manual faucets. Visual inspection of these plumbing fixtures did not reveal any issues and they appeared to be in good working condition.

Figure P-6

Figure P-7

Figure P-8

Figure P-9

- Suites: Each suite includes one beverage sink that is equipped with a 2.2 GPM manual faucet. Visual inspection of the sinks did not reveal any issues and they appeared to be in good working condition.

Figure P-10

Remaining Life: There is no published data on the lifespan of plumbing fixtures similar to the mechanical equipment in the ASHRAE Handbook. However, there are various estimates out there and on average the lifespan estimates of the different plumbing fixtures are listed below.

- Lavatories/Sinks: 50 Years
- Faucets: 15-20 Years
- Water Closets/Urinals: 50 Years
- Water Closet/Urinal Flush Valves: 6-7 Years

All of the plumbing fixtures are approximately 13 years old. Based on the lifespan estimates above, only the flush valves have exceeded their lifespan and will need to be replaced. Each of the flush valves tested seemed to work fine and we do not recommend replacement at this time. We only recommend replacing them with high efficient fixtures to save utility costs.

Domestic Hot Water Heating System The domestic hot water heating system in the boiler room of the Main Arena and a domestic hot water system in the ice chiller room of the Community Ice Rink were visually inspected. Visual inspection of the heaters did not reveal any issues with them and they appeared to be in good working condition.

Figure P-11

Figure P-12

Remaining Life: There is no published data on the lifespan of water heaters similar to the mechanical equipment in the ASHRAE Handbook. However, there are various estimates out there and on average the lifespan of a storage tank-type water heater is 8-12 years. Both water heaters are approximately 13 years old and have exceeded their estimated lifespan, however, we do not recommend replacing these heaters at this time since they were found to be in good condition.

Parking Lot Storm Drain System The facilities staff asked us to investigate the parking lot storm drain system outlets. The outlets discharge water over a bed of rip rap, or rock. Over time, the rip rap has eroded away resulting in significant erosion. The storm drain outlets that were inspected are bubbled in red in the drawing below. The following pictures show some of the erosion issues.

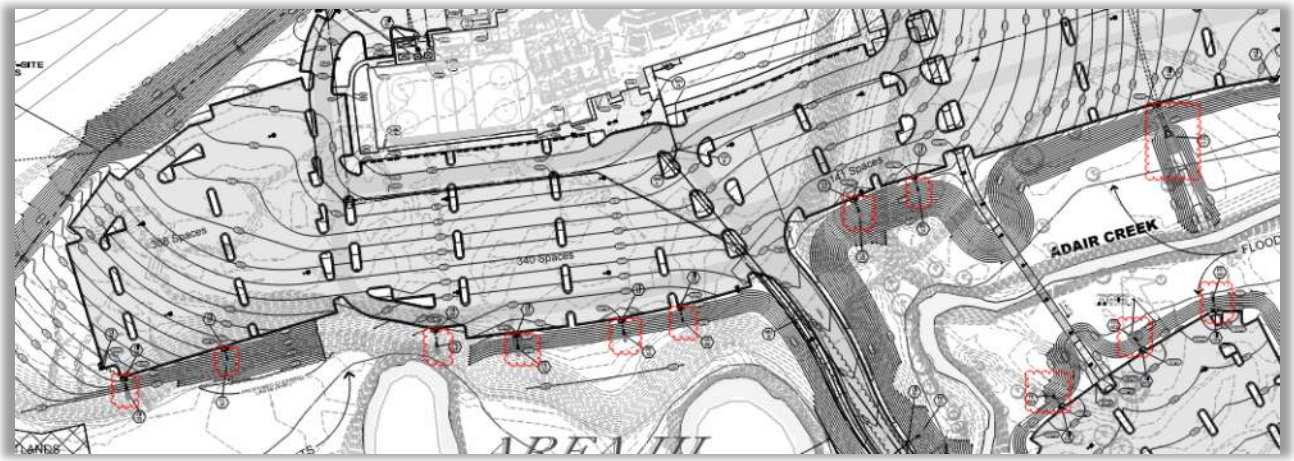


Figure P-13

Figure P-14

Figure P-15

Recommendations

P1: Replace Plumbing Fixtures with High Efficient Fixtures As stated above, the water consumption rates of the water closets are 1.6 GPF, the urinals are 1.0 GPF, and the sinks and lavatories are 2.2 GPM. This recommendation includes replacing the water closets with 1.0-1.28 GPF fixtures and flush valves, the urinals with 0.125 GPF fixtures and flush valves, the lavatory faucet aerators with 0.5 GPM aerators, and the sink faucet aerators with 1.5 GPM aerators. The implementation of this recommendation will result in water, sewer and domestic hot water heating usage savings.

P2: Repair Parking Lot Storm Drain Outlets This recommendation includes bringing in backfill to replace the soil that has been eroded. Additionally, more and larger rip rap will be installed to eliminate/limit any erosion in the future.

Fire Protection

System Description A 6” fire protection main water line enters the Water Entry Room located on the Northwest corner of the facility and provides water to the automatic sprinkler systems and fire hose supply system.

Assessment Methodology / Process Our team completed a visual inspection of the fire system components (i.e. sprinkler heads) and associated piping that were not concealed.

Existing Conditions

The fire protection system looked to be in good condition and the facilities staff did not make us aware of any issues.

Figure F-1

Figure F-2

Remaining Life: There is no published data on the lifespan of fire sprinkler systems similar to the mechanical equipment in the ASHRAE Handbook. However, there are various estimates out there and on average the lifespan of a fire sprinkler systems is 40-50 years. However, corrosion issues can shorten this lifespan to 15-25 years if air (oxygen) is introduced or trapped in the piping system. Our visual inspection did not reveal any apparent corrosion issues.

Recommendations

There are no recommendations at this time.

Ice Plant

Ice Plant and Associated Equipment

System Description The ice sheets for the Main Arena and Community Ice Rink are served by a water-cooled chiller system that circulates a cold brine solution through a piping network under the ice sheets in order to keep the ice sheets frozen.

Assessment Methodology / Process Our team completed a visual inspection of the chiller system components and associated piping that wasn't concealed. We engaged Wagner-Meinert, an ice plant specialist, to perform a similar evaluation. One of Wagner-Meinhert's service leaders performed the inspection and his report can be found in Appendix E.

Existing Conditions

We found that the ice chiller is nearing the end of its normal life expectancy and piping is getting deteriorated and has a history of leaks that caused the need for emergency repairs. Some specific issues brought to our attention from the facilities staff include:

- 10" line has a leak.
- Compressor motors have to be replaced every three years, approximately.
- Brine solution has caused pipe corrosion issues over time.

The photos below and Wagner-Meinhert's report shows additional issues such as piping components that have significant rust/corrosion, pipe leaks, leaking cooling tower, etc.

Figure IP-1

Figure IP-2

Figure IP-3

Figure IP-4

Recommendations

IP1: Repairs/Upgrades to Existing Ice Chiller System We recommend implementing the items included in Wagner-Meinhert report located in the Appendix.

Kitchen Equipment

Trimark has broken the replacement needs of the equipment for budget purposes in the following phases in a detailed report found in the Appendix.

Phase 1. Replace Equipment that is currently not fully operational. This equipment needs to be replaced NOW. (Needs to be addressed Immediately)

Phase 2. Upgrade Existing Walk-in complexes, Doors sections and Refrigeration. (Recommend to address within the next 12 months)

Phase 3. Replace all ice machine heads and Refrigeration units. All systems are past expected life span. (Recommend to address within 12 to 24 months)

Phase 4. Beer System-Budget to have Beer system gone thru for performance check and upgrade system as needed. (Systems should be checked every 12 months minimum and cleaned frequently.)

Phase 5. Budget to replace all cooking equipment such as the fryers, ranges convection ovens they will all be past their expected life span. (Recommend to address 24 months or as failures happen as they have past there expected life span.

Phase 6. Concession/Warming Equipment -Budget to replace as they fail.

Below is a list of all equipment listed by area. All equipment on this list has exceeded the average life span of a commercial appliance and is recommended to be budgeted for replacement due to age, ware, and general overall condition. Some equipment below has more specific details pertaining to the condition. Units labeled “keg coolers” contain a direct draw beer dispensing system with a faucet on the counter above the coolers. Walk in panels have not exceeded their average life span and the general overall condition is fair; however, door sections and refrigeration need to be upgraded. The CSI tech noted that the walk ins and ice machines should be a priority over other equipment, followed by cooking and refrigeration equipment in the heavier traffic of higher volume areas

Commissary/FS1

- Ice machine – M/N SY1404A S/N 110806949
  - Bin – M/N B970 S/N 110804777
    - Compressor drawing amps, evap plating worn, ice bin in good condition
- Double stack steamer – M/N 24CGA10 S/N 0906230000383
  - Seals leaking, build up, drain solenoid leaking by. Internally compromised.
- Tilt Skillet – M/N SGL-30-TR S/N 090523054142
  - Burners failing to light, tilt mechanism leaking hydraulic fluid
- 2 bank fryers – M/N SCFSM250GN/MC S/N 0906PM0011
  - Burner baffles damaged, vat 1 leaking from pot, flue clogged
- Oven range – M/N C836-7 S/N 0906100100322
  - Gas lines pitted and possible leak areas, oven pilot won’t stay lit
- Double stack oven – M/N 1767-SK S/N 660853-000
  - Glass seal town and compromised, heating elements 1 not working
- Double stack oven Top – M/N HGC5-10 S/N 48-1631160
  - Bottom M/N HGC5-10 S/N 48-1631120
    - No issues found, all functions are working
- Prep Table – M/N TSSU-60-12 S/N 5224183
  - Not keeping proper temperature, possible leak, evap fans bearing squealing
- Roll in cooler – M/N TSSU-60-12 S/N 5224183
  - Compressor over amping, doors not closing properly, signs of leak, temp not dropping
- Waste Collector – M/N P914 S/N N/A
  - Will not turn on, issues with motor
- Dish washer – M/N AM151 S/N 23-1116-354
  - Leaking valves, hoses torn, top seals damaged, controls not responsive
- RIC/RIF combo – RIF M/N T-49DT S/N 5208857
  - RIC – M/N T-49DT S/N 5208857
    - Both circuits have leaks no longer working
- WIC #1 Evap – M/N LSC090AEKOLK S/N T09E04402
  - Box S/N 410008478CLR1
    - Box needs to be resealed, pipe insulation needs new, leak in evaporator
- WIF Evap – M/N LSF090BEKOLK S/N T09F08843
  - Box S/N 410008478FZR1
    - Box needs to be resealed, door sweep, evap pitted and signs of leaks, issue with thermal break leak
- WIC #2 Evap – M/N RL6A181APA S/N E401900594

        - Box – S/N 410008478CLR2
            - Box electrical needs resealed, door needs replaced, evap is newer
- WIC Condenser #1 – M/N PR99M0P S/N 410008428
- WIF Condenser #2– M/N PR249L09 S/N 410008438
- WIC Condenser #3 – M/N PR199M0P S/N 410008418

Community Concessions/FS4

- Ice machine – M/N SY0454A S/N 110809652
    - Bin – M/N B570 S/N 110804190

Suite Pantry/FS5

- RIC – M/N T-49 S/N 6722395
- Ice Machine – M/S SY1404A S/N 110806946
    - Bin – M/N B970 S/N 110804778

- Popcorn Machine – M/N 2003ST S/N RWU-SU-ST-2382
- WIC Box – S/N 41008479CLR1
    - Evap – M/N L8C090AEKOLK S/N – T09E07858
        - 404A
        - Dimensions – 9’ X 8’
        - Door closer needs replaced; door sweep needs replaced
    - Condenser above walk in box

220/Suite Concessions FS5

- Ice machine – M/N SY0454A S/N 110809693
    - Bin
        - M/N B570 S/N 110804167
- RIC – M/N T-23 S/N 5252344
- Popcorn machine – M/N 2003ST S/N RWU-SU-ST-2383
- Hot dog roller – M/N HRS-31 S/N 021500906018
- Heating unit – M/N HDD-2 S/N 0906D01859

209/Suite Bar

- Beer RIC – M/N BC48 S/N 647172
- Keg cooler – M/N BS84 S/N 647126
- Ice machine – M/N SY0454A S/N 110864502
    - Bin – M/N B570 S/N 110870407

211/Suite Bar

- Ice machine – M/N SY0454A S/N 110809669
    - Bin – M/N B570 S/N 110810288
- Keg cooler – M/N BS84 S/N 647128
- RIC – M/N BN24 S/N 647066

Concessions 117/FS2

- Warmer cabinet – M/N HDD-2 S/N 0906D01461
- Warmer cabinet – M/N HHD-2 S/N 0906D01857
- Popcorn machine – M/N 2003ST S/N RWU-SU-ST-2384
    - New unit (recently replaced)
- Hot dog roller – M/N HRS-45 S/N 021810911008
- Ice machine – M/N SY0454A S/N 110810661
    - Bin – M/N B570 S/N 110804190
- Holding cabinet – M/N C519-HFC-4 S/N C5HM005886
- Pizza oven top – M/N 1132-000-U-61837 S/N 0906210000434
    - Bottom – M/N 1132-000-U-K1837 S/N 0906210000435
- Heated pass thru – M/N DMXD-30S S/N 381060906003
- Heated pass thru – M/N DMXD-30S S/N 38106096004
- Glycol unit – M/N 4404 S/N 647554
- Beer keg cooler – M/N US10KP S/N 472393
- RIC – M/N TUC-67 S/N 5241795

Concessions 114/Grill FS2

- RIC – M/N T-23F S/N 5227842
- Pass thru – M/N DMXD-30H S/N 381270906001
- Pass thru – M/N DMXD-30H S/N 381270906002
- 2 bank fryer – m/N SCFSM250GM/MC S/N 0906PM0014
- RIC – M/N T-23 S/N 5252347
- Glycol unit Power pack – M/N 4404 S/N 645675
- Heated cabinet – M/N HDD-2 S/N 0906D01853
- Heated cabinet – M/N HDD-2 S/N 0906D01459
- Heated cabinet – M/N HHD-2 S/N 0906D01851
- Heated cabinet – M/N HHD-2 S/N 0906D01858
- Ice machine - M/N SY0Y54A S/N 110809661
    - Bin - M/N B570 S/N 110804169
- Griddle (US Range 47”) – M/N N/A S/N 0906100200484

Craft Corner/Not on plans

- RIC – M/N GR48S S/N 16020005
- Keg cooler – M/N DS72SLT S/N 647117
- Keg cooler – M/N D572SLT S/N 647118
- Liquor cooler – M/N BN48 S/N 647119

109 Exterior corner/not listed on plans

- Popcorn machine – M/N 2010EB S/N APE8-505
- Oil System – M/N 2257 S/N BIB02-7131
- Warmer Unit – M/N HHD-2 S/N 09086D01458
- Prep table – M/N TPP-60 S/N 5205409
- Heat well – M/N HFW-D S/N 0908D0550

    - New unit (recently replaced)
- Warming unit – M/N UHS-4 S/N 07167531
- Cotton candy unit – M/N 300588 S/N NDSS-4935
- Ice shower – M/N 1020 S/N X-05285

107 Concessions/SE Concessions FS3

- Warmer – M/N HDD-2 S/N 0906D01855
- Warmer – M/N HDD-2 S/N 0906D01850
- Warmer – M/N HDD-2 S/N 0906D01460
- Warmer – M/N HDD-2 S/N 0906D01861
- Pass thru heated cabinet – M/N DMXD-30S S/N 23050040
- Hot dog roller – M/N HR-50 S/N 818461509002
- RIC – M/N T-23 S/N 5252349
- Glycol Unit Power pack – M/N 4404 S/N 645630
- Ice Machine – M/N SY0454A S/N 110809678
    - Bin – M/N B570 S/N 110804166

106 Bar

- Keg cooler – M/N BS-60 S/N 6457108
- Keg cooler – M/N BS-60 S/N 647109
- Ice machine – M/N SY0454A S/N 110809701
    - Bin – M/N B570 S/N 110804755

105 Club Bar/FS4

- Keg cooler – M/N BS84 S/N 647127
- Beer cooler – M/N BC72 S/N 647529
- Keg cooler – M/N BS84 S/N 647129
- Liquor cooler – M/N BN48 S/N 647116

104 Concessions/SW Grill – FS3

- Heating unit – M/N HDD-2 S/N 0906D01854
- Heating unit – M/N HDD-2 S/N 0906D01849
- Popcorn machine – M/N 2003ST S/N RWU-SU-ST-2374
    - New unit (recently replaced)
- RIC – M/N T-23 S/N5226519
- Hot well – M/N 6055A S/N K16-1805
- Hot well – M/N 6055A S/N K16-1811
- Hot dog roller – M/N HRS-31 S/N 021500906011
- Heated pass thru – M/N DMXD-30S S/N 381060906001
- Heated pass thru – M/N DMCD-30S S/N 381060906002
- RIC – M/N T-23F S/N 5235640
- Glycol unit Power pack – M/N 4404 S/N 647553
- 2 bank fryer – M/N SCFM2500N/MC S/N 0906PM0017
- Ice machine – M/N SY0454A S/N 110810404
    - Bin – M/N B570 S/N N/A

Section 3 Cost Estimate and Phasing Plan

Cost Estimate

Sidewalks, Ramps and Stairs	$245,570
Roof	$29,350
Windows and Doors	
Spot Repointing	$10,000
Replace Sealant	$30,000
Replace Doors, Frames and Hardware	*$395,607
Exterior Wall Surfaces	
Paint Stucco Facades	$19,000
Clean Building Facades	$105,193
Mechanical, Electrical, Plumbing and Fire Protection	
Mechanical	$6,642,300
Electrical	$143,787
Plumbing	$365,862
Fire Protection	$0
Ice Plant and Associated Equipment	$100,000
Arena Seating - Hussey Seating (Base Bid)	*$956,000
Arena Joint Sealant Replacement – Kpoxy Construction	*$29,744
Kitchen Equipment	$733,302
TOTAL	**$9,805,715**

*pricing provided by the City of Independence

Phasing Plan

PHASE I – 0-12 MONTHS

Sidewalks, Ramps and Stairs	$245,570
Roof	$29,350
Replace Doors, Frames and Hardware	$395,607
Kitchen Equipment Phase 1 – Replace non-operational kitchen equipment.	$173,559
Kitchen Equipment Phase 2 – Upgrade walk-ins.	$97,500
Mechanical (all items except M1-M, M1-L, M10-M, & M10-L)	$1,957,300
Electrical (E2 & E3)	$2,787
Plumbing (P2)	$85,862
Ice Plant and Associated Equipment	$100,000
Arena Seating - Hussey Seating (Base Bid)	$956,000
Arena Joint Sealant Replacement – Kpoxy Construction	$29,744
TOTAL	**$4,073,279**

PHASE II – 1-2 YEARS

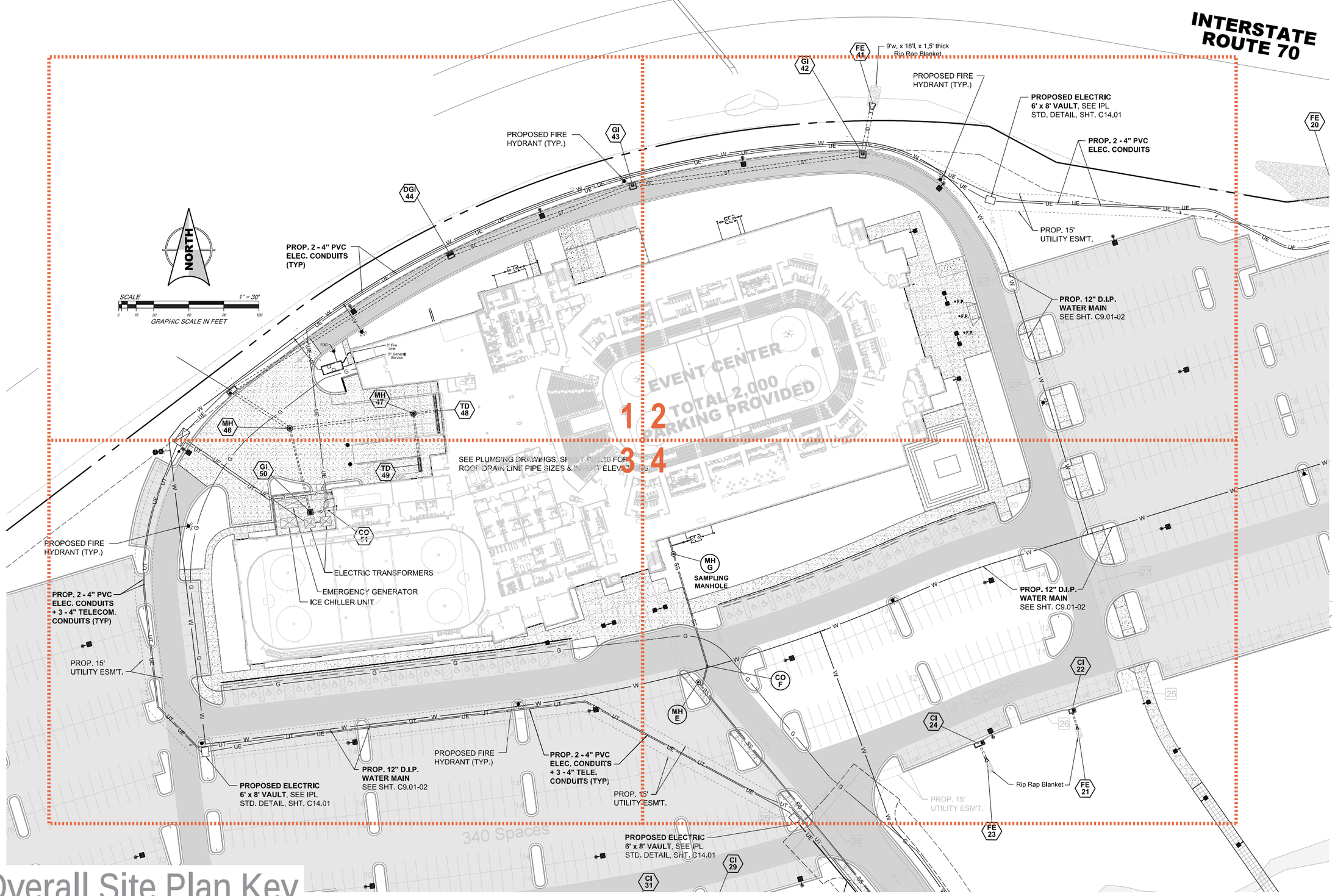
Mechanical (M1-M & M10-M)	$4,255,000
Kitchen Equipment Phase 3 – Replace refrigeration and ice machines.	$170,167
Kitchen Equipment Phase 4 – Upgrade beer system.	$65,382
TOTAL	**$4,490,549**

PHASE III – 2-5 YEARS

Spot Repointing	$10,000
Replace Sealant	$30,000
Paint Stucco Facades	$19,000
Clean Building Facades	$105,193
Mechanical (M1-L & M10-L)	$430,000
Electrical (E1)	$141,000
Plumbing (P1)	$280,000
Kitchen Equipment Phase 5 – Replace cooking equipment.	$120,083
Kitchen Equipment Phase 6 – Replace concession warming equipment.	$106,611
TOTAL	**$1,241,887**

Section 4

Appendix A: Site Plans and Elevations



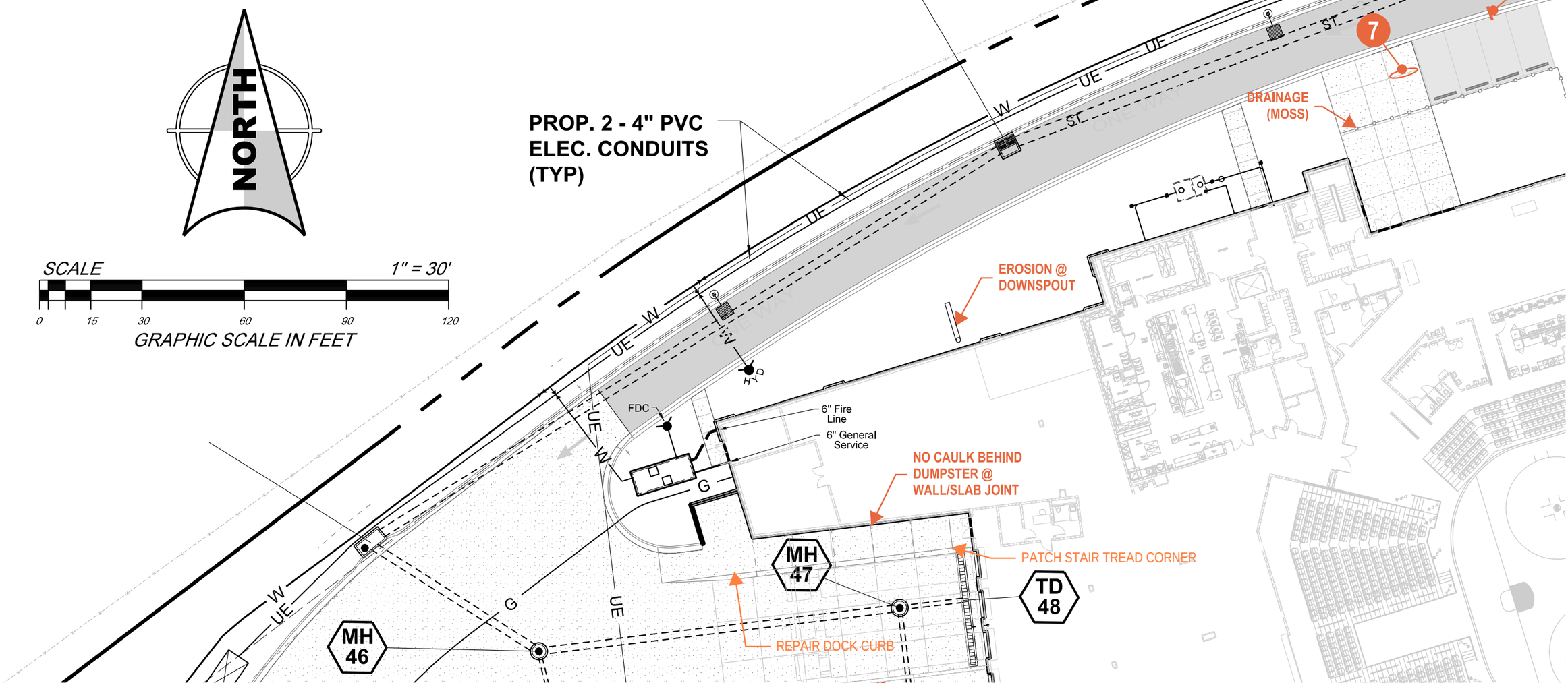
Overall Site Plan Key

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

sfsarchitecture

LEGEND

1. SPALLING CONCRETE @ CURB
2. CRACK, 1/4" OR GREATER
3. CRACK, 1/4" OR LESS
4. SPALLING @ EXPANSION JOINT
5. UNEVEN JOINT > 1/2"
6. CAULK JOINT FAILING
7. SPALLING @ CONTROL JOINT
8. SPALLING @ BOLLARD



2

LEGEND

1. SPALLING CONCRETE @ CURB
2. CRACK, 1/4" OR GREATER
3. CRACK, 1/4" OR LESS
4. SPALLING @ EXPANSION JOINT
5. UNEVEN JOINT > 1/2"
6. CAULK JOINT FAILING
7. SPALLING @ CONTROL JOINT
8. SPALLING @ BOLLARD

GI 42

PROPOSED FIRE HYDRANT (TYP.)

PROPOSE
6' x 8' VAI
STD. DET

SPALLED CURB

AUTO DOOR OPENER RUSTING

BROKEN CONCRETE

F.P.

PROP. 15' UTILITY ESM'T.

PROP. 12" D.I.P. WATER MAIN
SEE SHT. C9.01-02

EVENT CENTER
TOTAL 2,000
PARKING PROVIDED

SCALE 1" = 30'

0 15 30 60 90 120

GRAPHIC SCALE IN FEET

SCALE

1" = 30'

0 15 30 60 90 120

GRAPHIC SCALE IN FEET

SEE PLUMBING DRAWINGS, SHEET PU2.10 FOR ROOF DRAIN LINE PIPE SIZES & INVERT ELEVATION

GI 50

TD 49

CO 51

CRACKING

PATCH STAIR TREAD CORNER

DOOR FRAME RUSTING @ BOTTOM

RD

PROPOSED FIRE HYDRANT (TYP.)

5'-10 3/4"

ELECTRIC TRANSFORMERS

EMERGENCY GENERATOR

ICE CHILLER UNIT

PROP. 2 - 4" PVC ELEC. CONDUITS + 3 - 4" TELECOM. CONDUITS (TYP)

PROP. 15' UTILITY ESM'T.

CONTINUOUS BRICK TACTILE COURSE

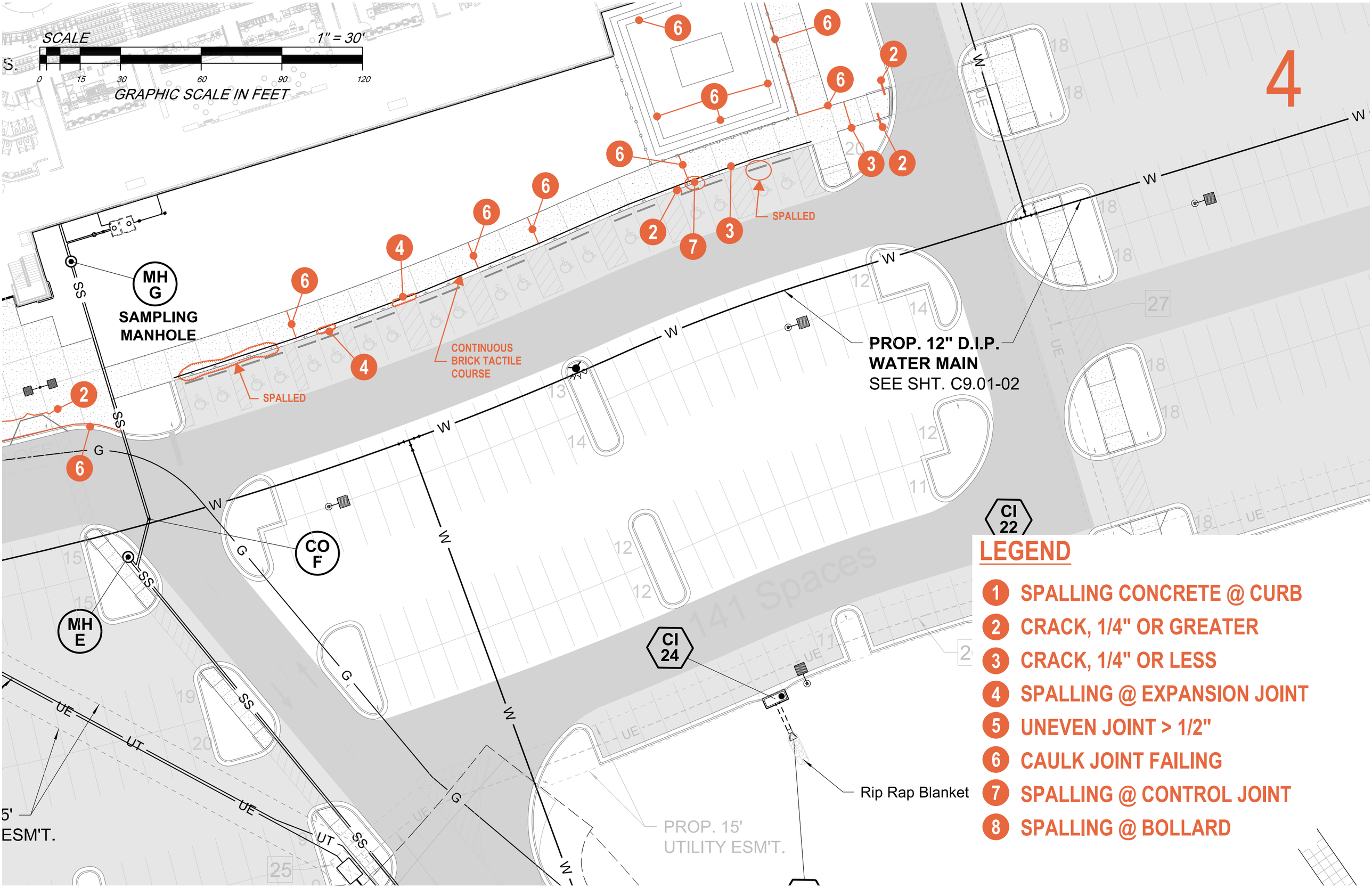
PROPOSED ELECTRIC 6' x 8' VAULT, SEE IPL STD. DETAIL, SHT. C14.01

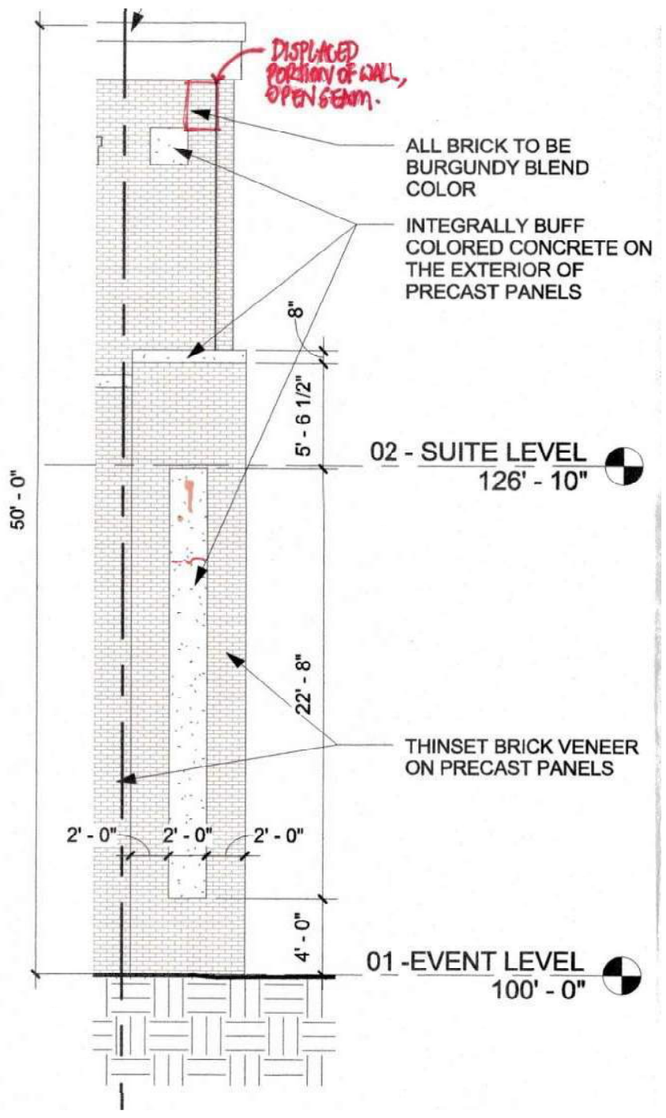
PROP. 12" D.I.P. WATER MAIN SEE SHT. C9.01-02

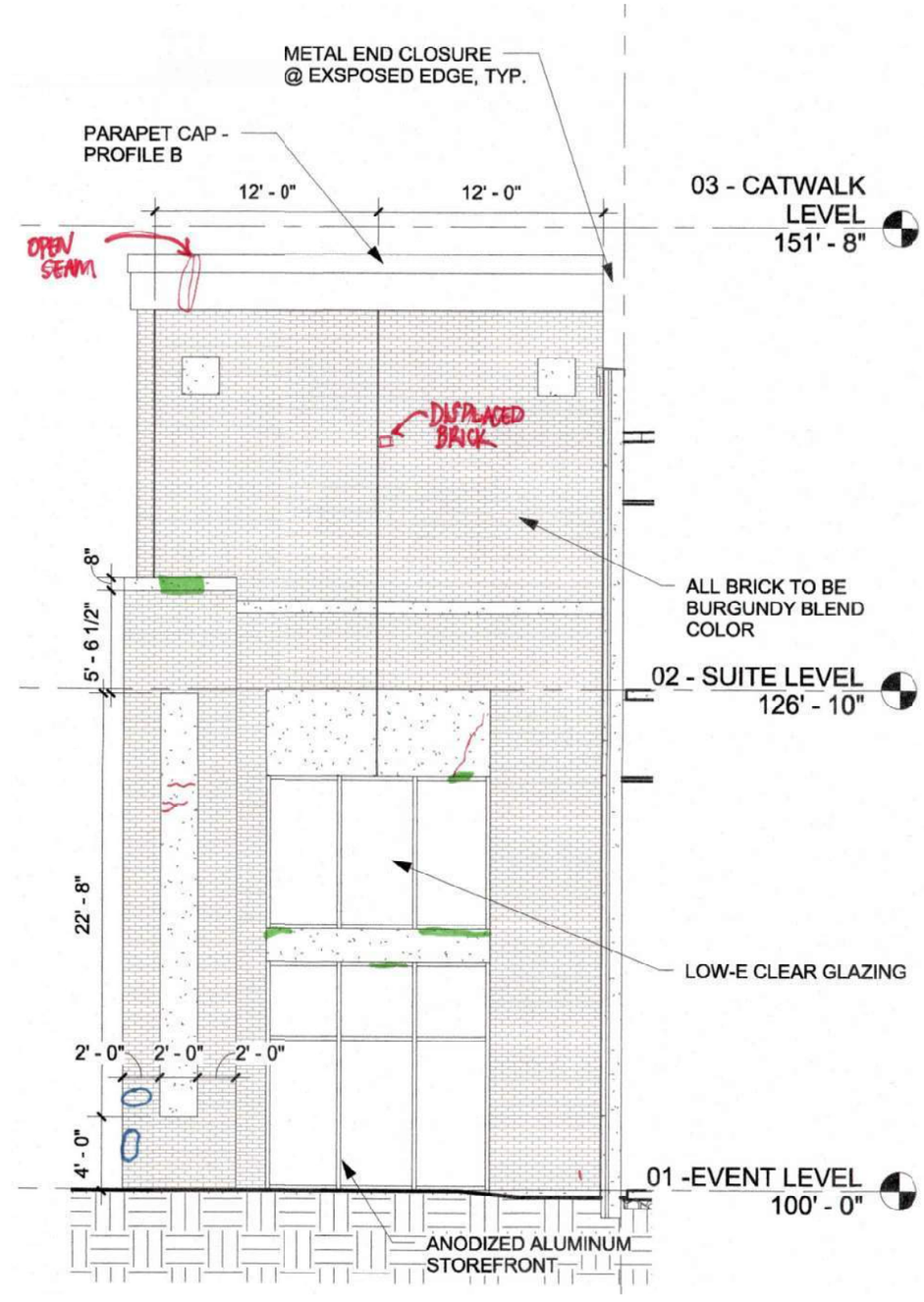
PROPOSED HYDRANT (T

LEGEND

1. SPALLING CONCRETE @ CURB
2. CRACK, 1/4" OR GREATER
3. CRACK, 1/4" OR LESS
4. SPALLING @ EXPANSION JOINT
5. UNEVEN JOINT > 1/2"
6. CAULK JOINT FAILING
7. SPALLING @ CONTROL JOINT
8. SPALLING @ BOLLARD


SCALE
1" = 30'
0
15
30
60
90
120
GRAPHIC SCALE IN FEET
4
MH G
SAMPLING MANHOLE
SPALLED
CONTINUOUS BRICK TACTILE COURSE
SPALLED
PROP. 12" D.I.P. WATER MAIN
SEE SHT. C9.01-02
CO F
MH E
CI 22
CI 24
141 Spaces
Rip Rap Blanket
PROP. 15' UTILITY ESM'T.
5' ESM'T.
LEGEND
1 SPALLING CONCRETE @ CURB
2 CRACK, 1/4" OR GREATER
3 CRACK, 1/4" OR LESS
4 SPALLING @ EXPANSION JOINT
5 UNEVEN JOINT > 1/2"
6 CAULK JOINT FAILING
7 SPALLING @ CONTROL JOINT
8 SPALLING @ BOLLARD

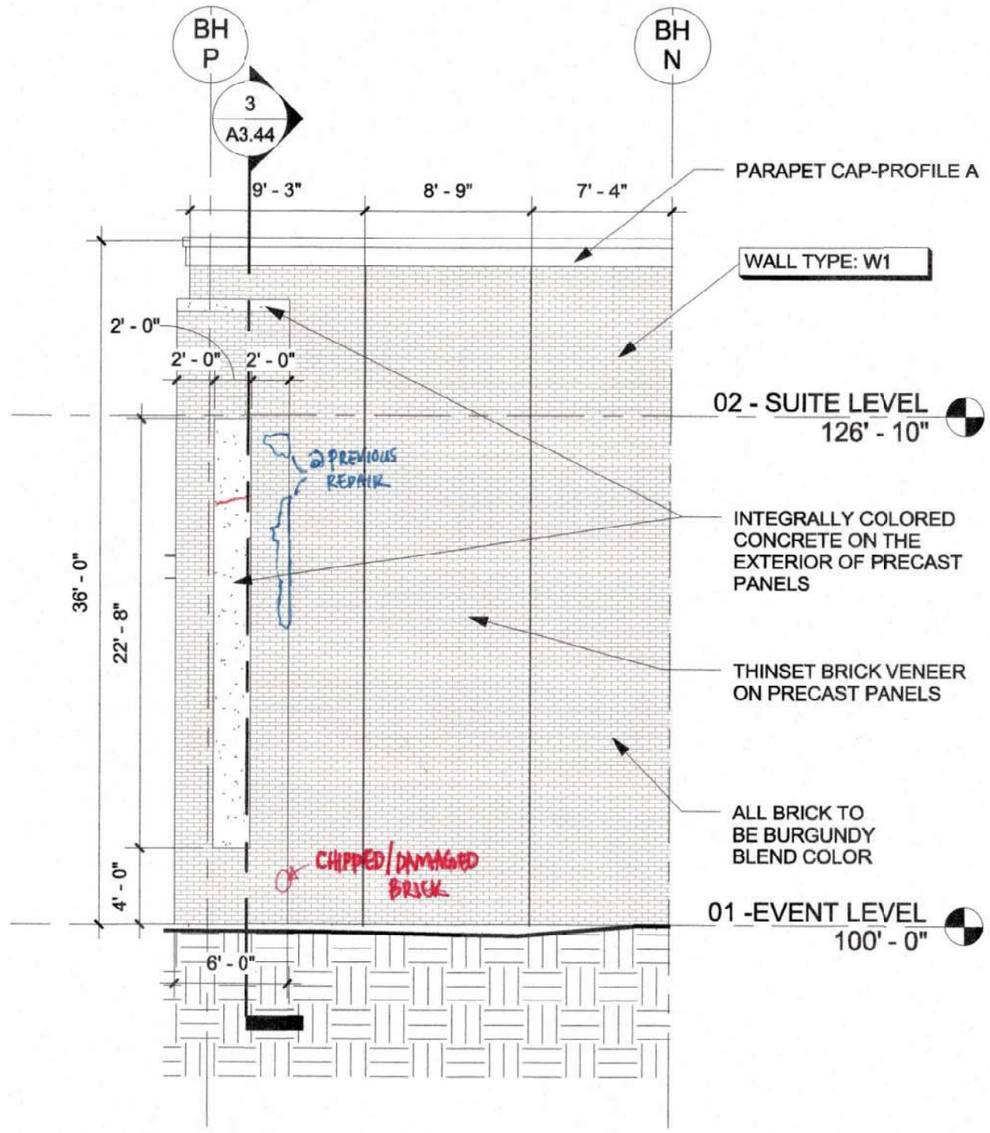




East & West Elevations @ South Entry

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

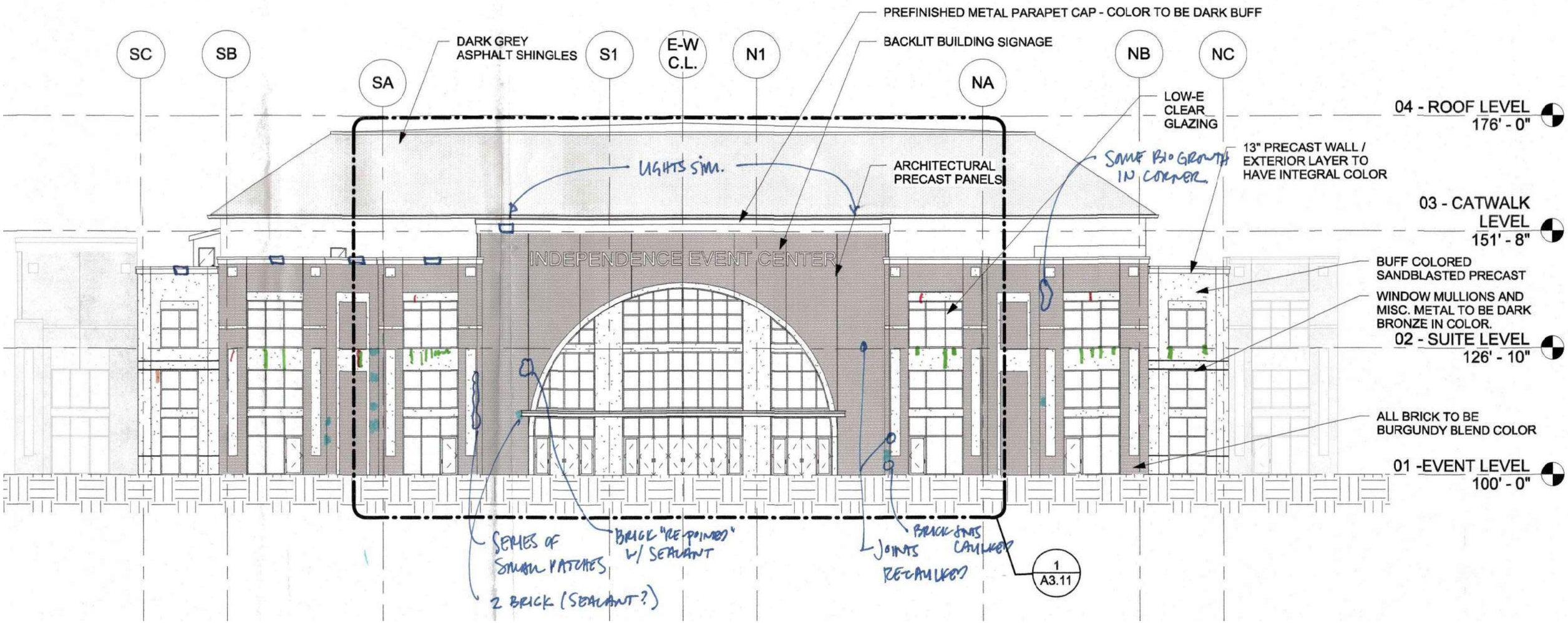
sfsarchitecture



East Elevation @ Community Ice Entry

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

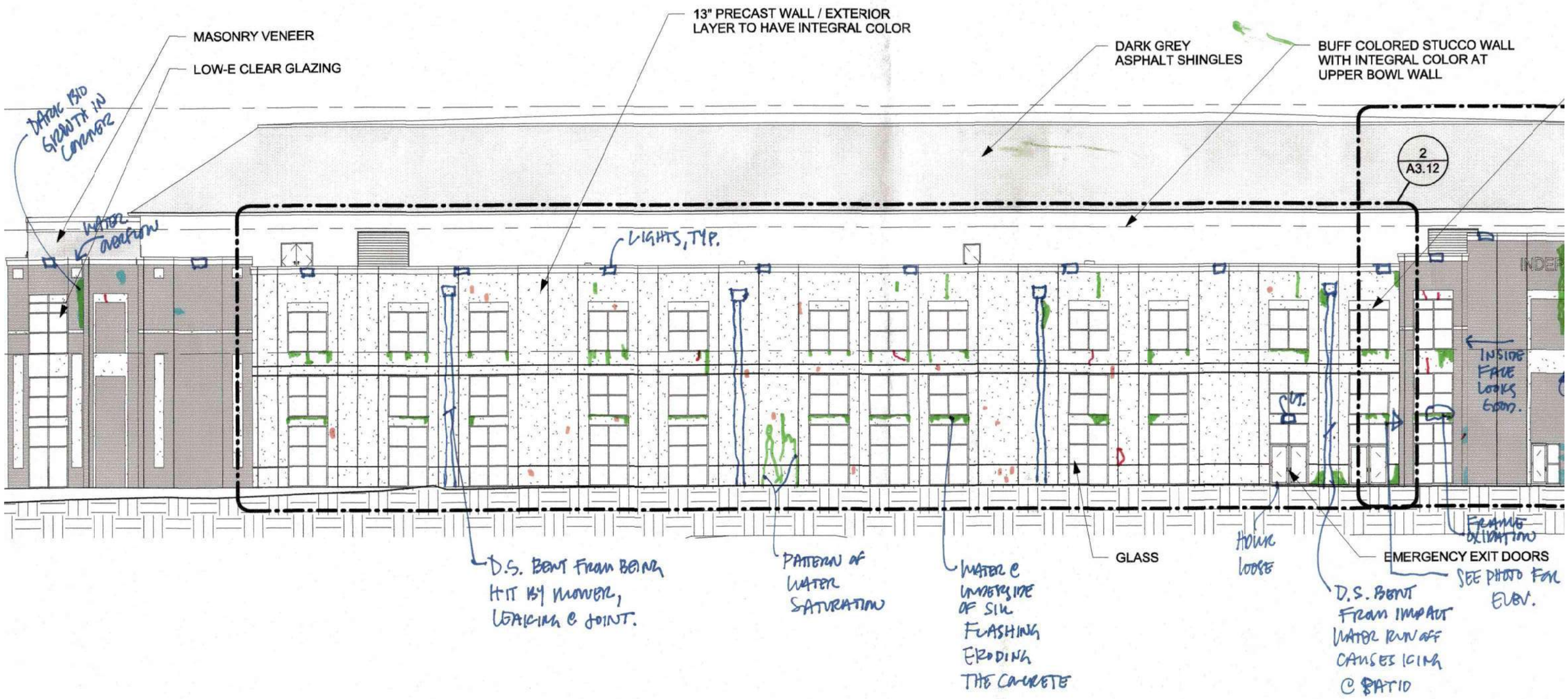
sfsarchitecture



East Elevation

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

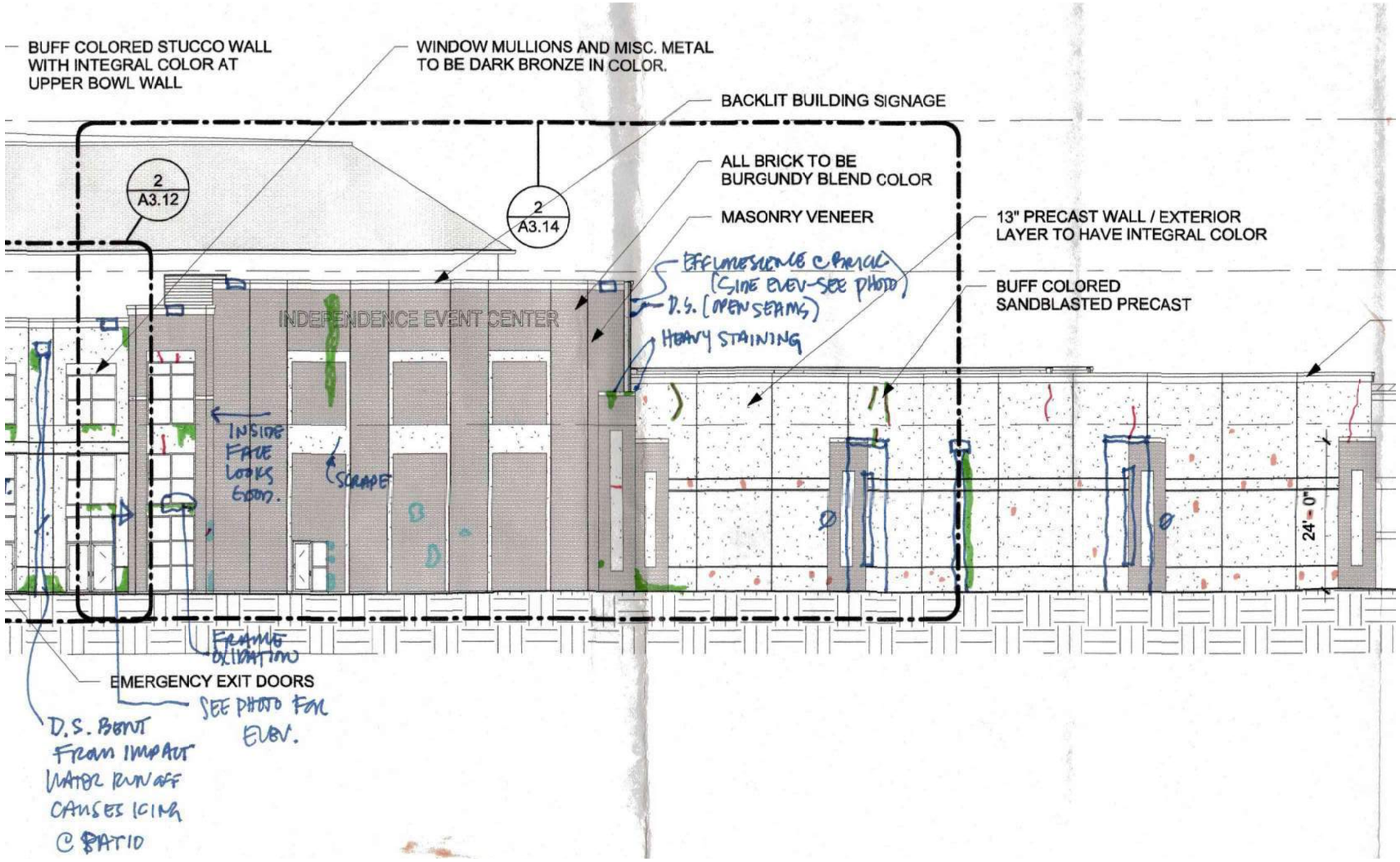
sfsarchitecture



North Arena Elevation - East Half

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

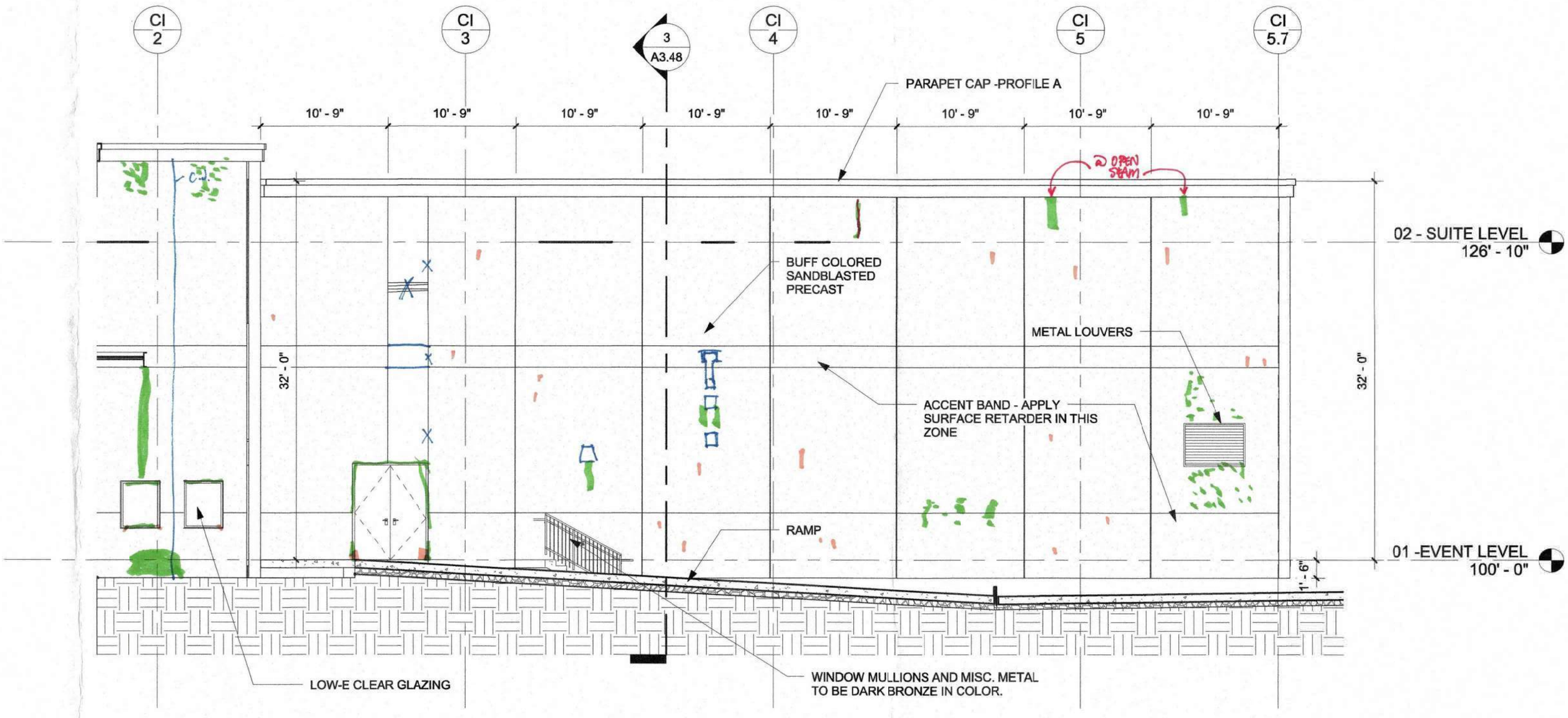
sfsarchitecture



North Arena Elevation - West Half

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

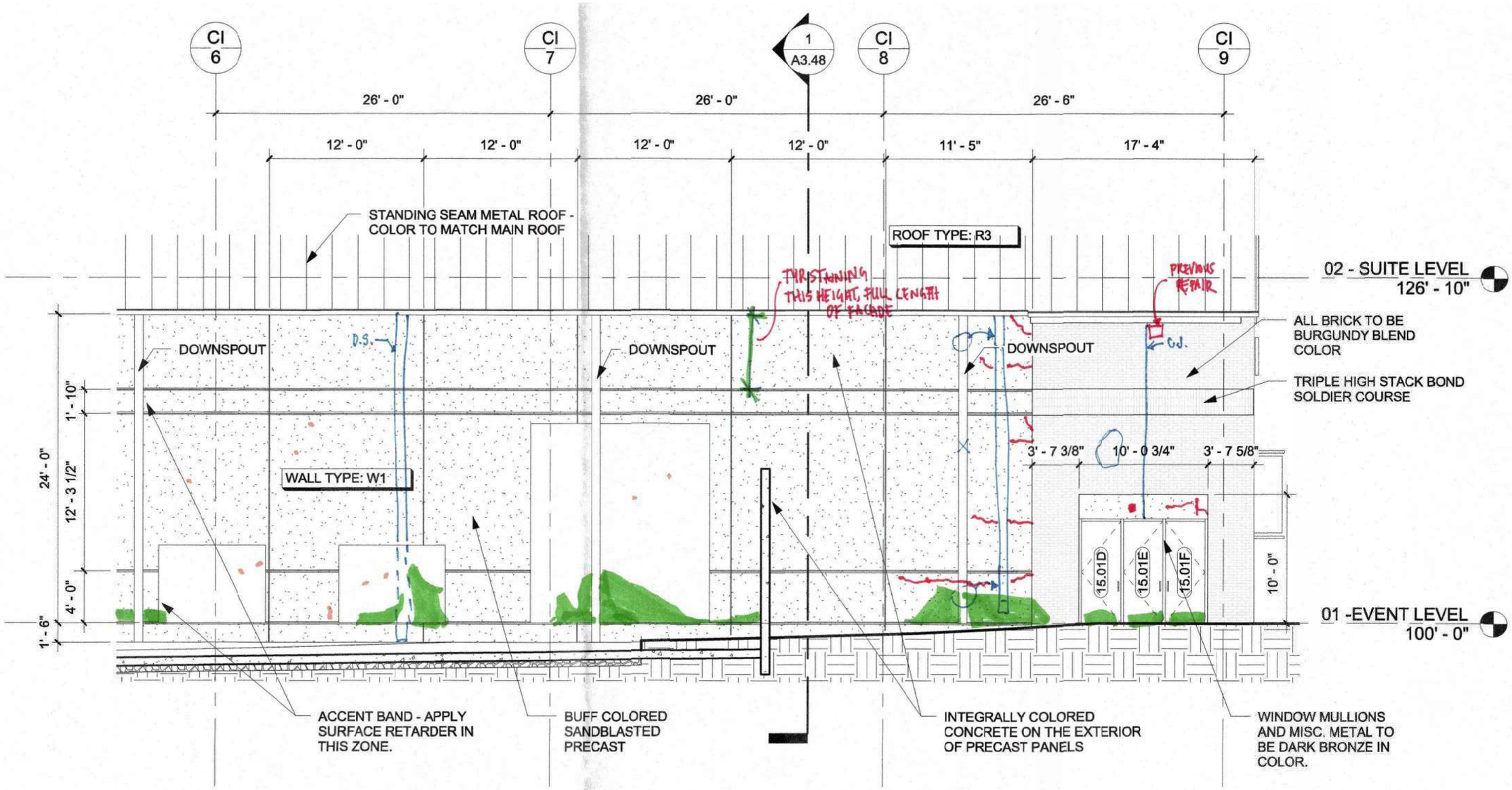
sfsarchitecture



North Elevation @ Loading Dock

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

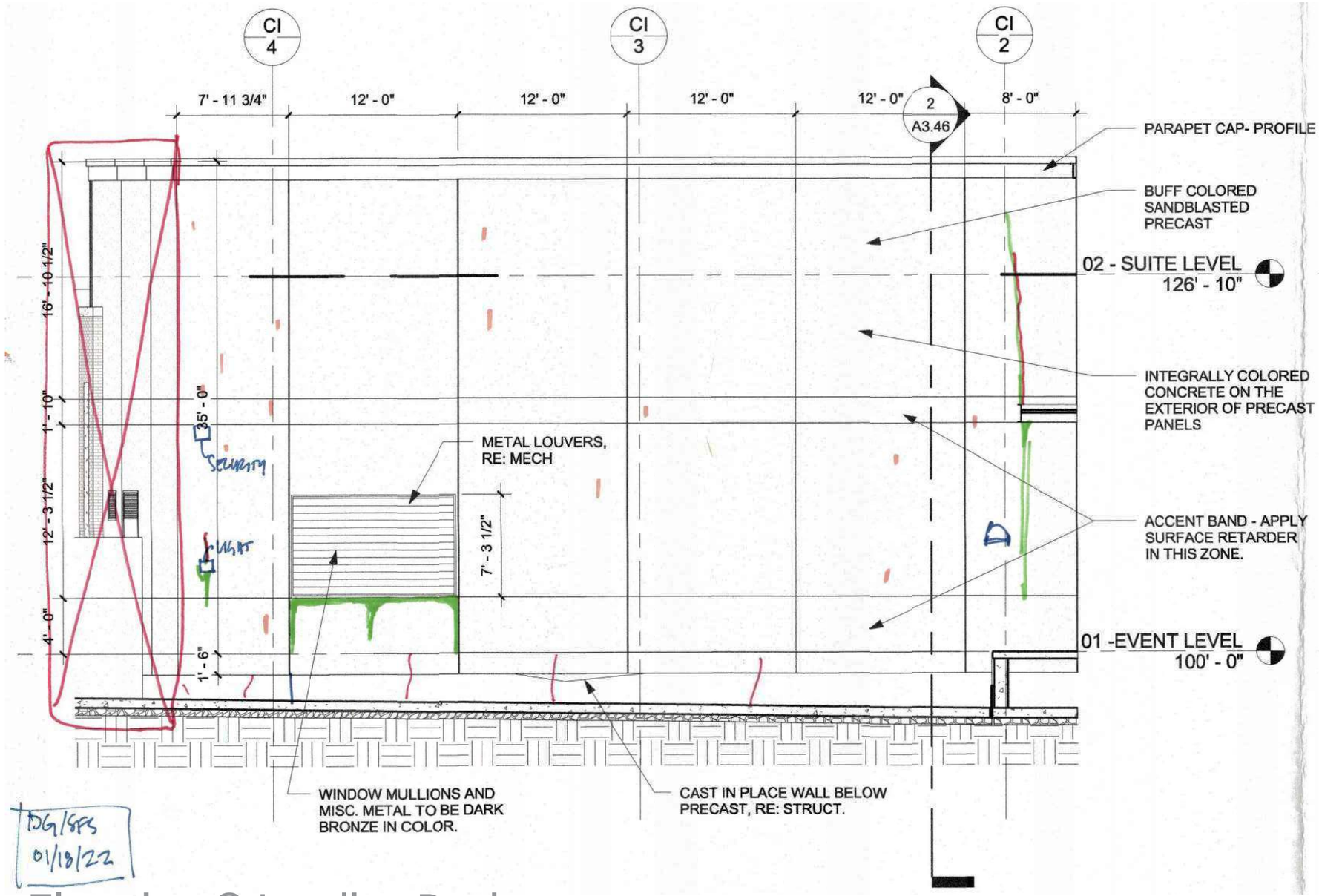
sfsarchitecture



North Exterior Elevation @ Community Ice

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

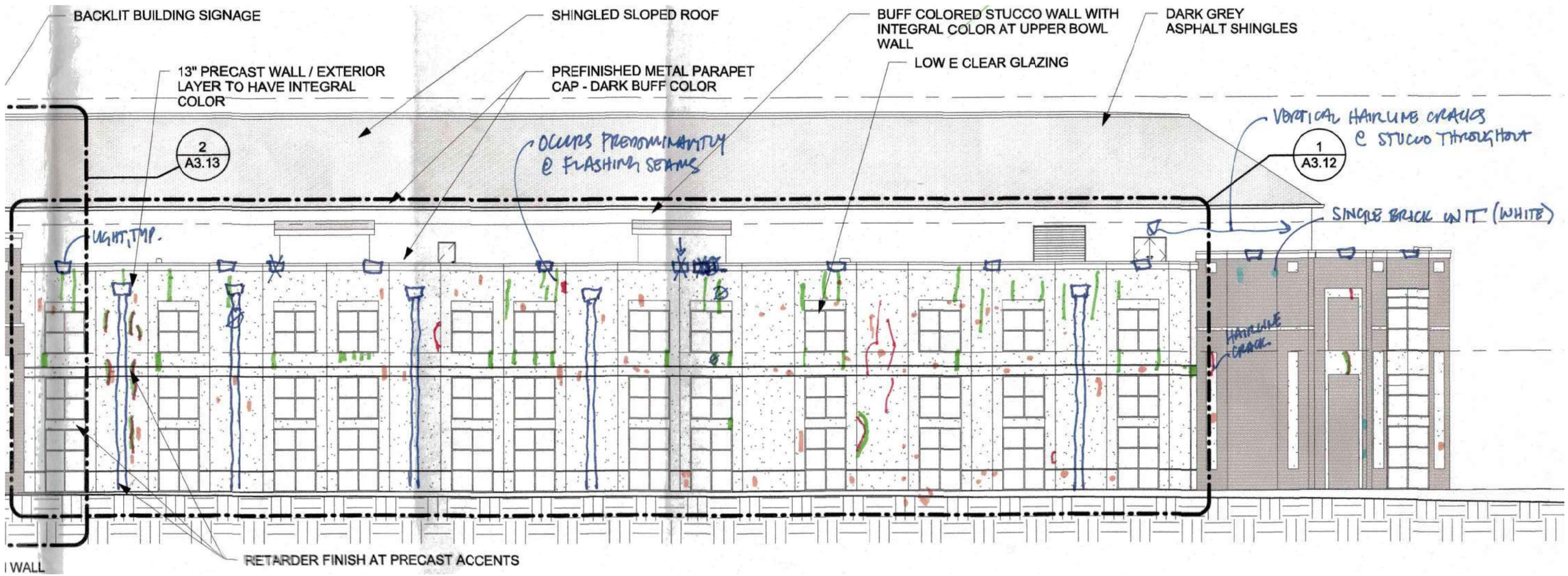
sfsarchitecture



North Exterior Elevation @ Loading Dock

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

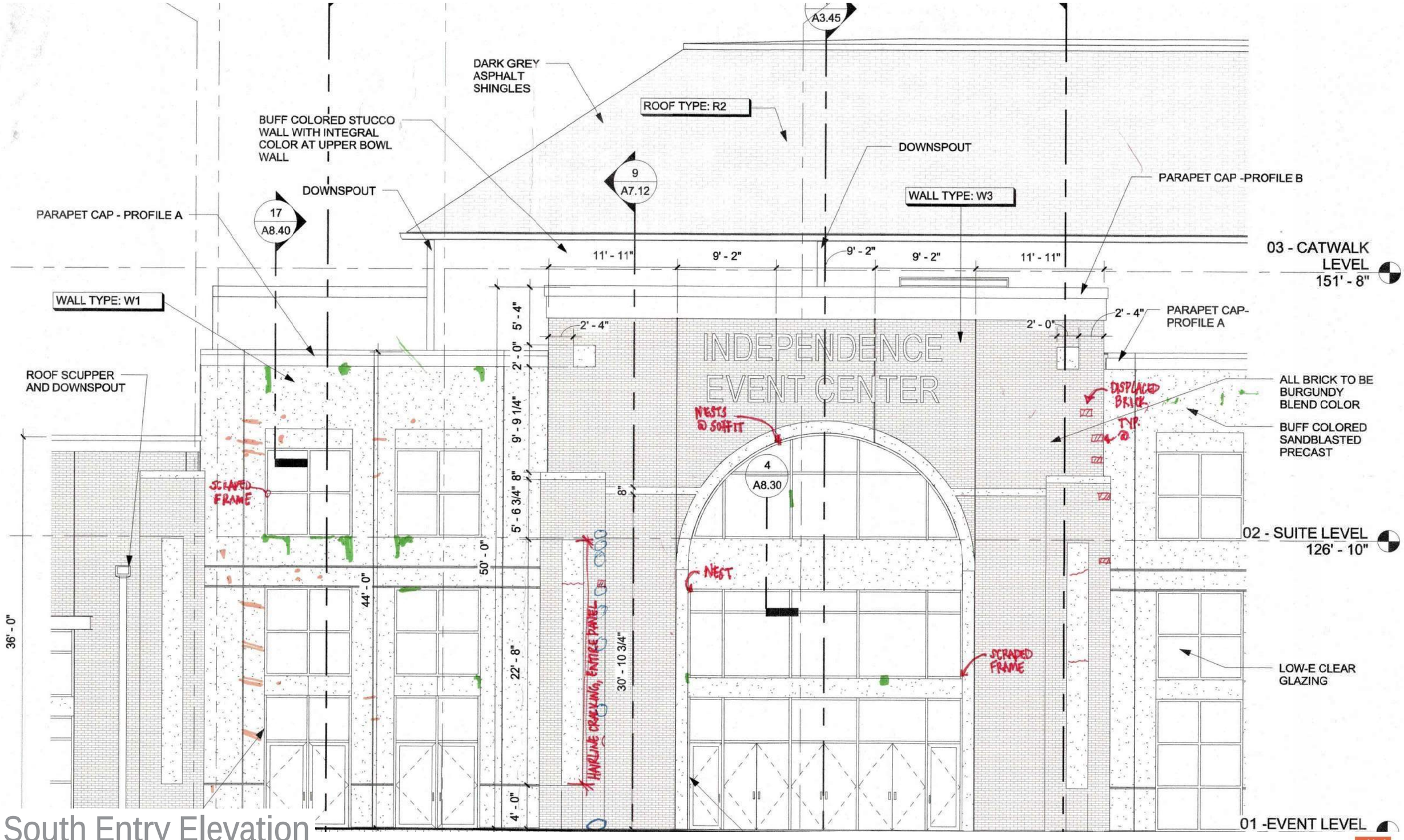
sfsarchitecture



South Arena Elevation

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

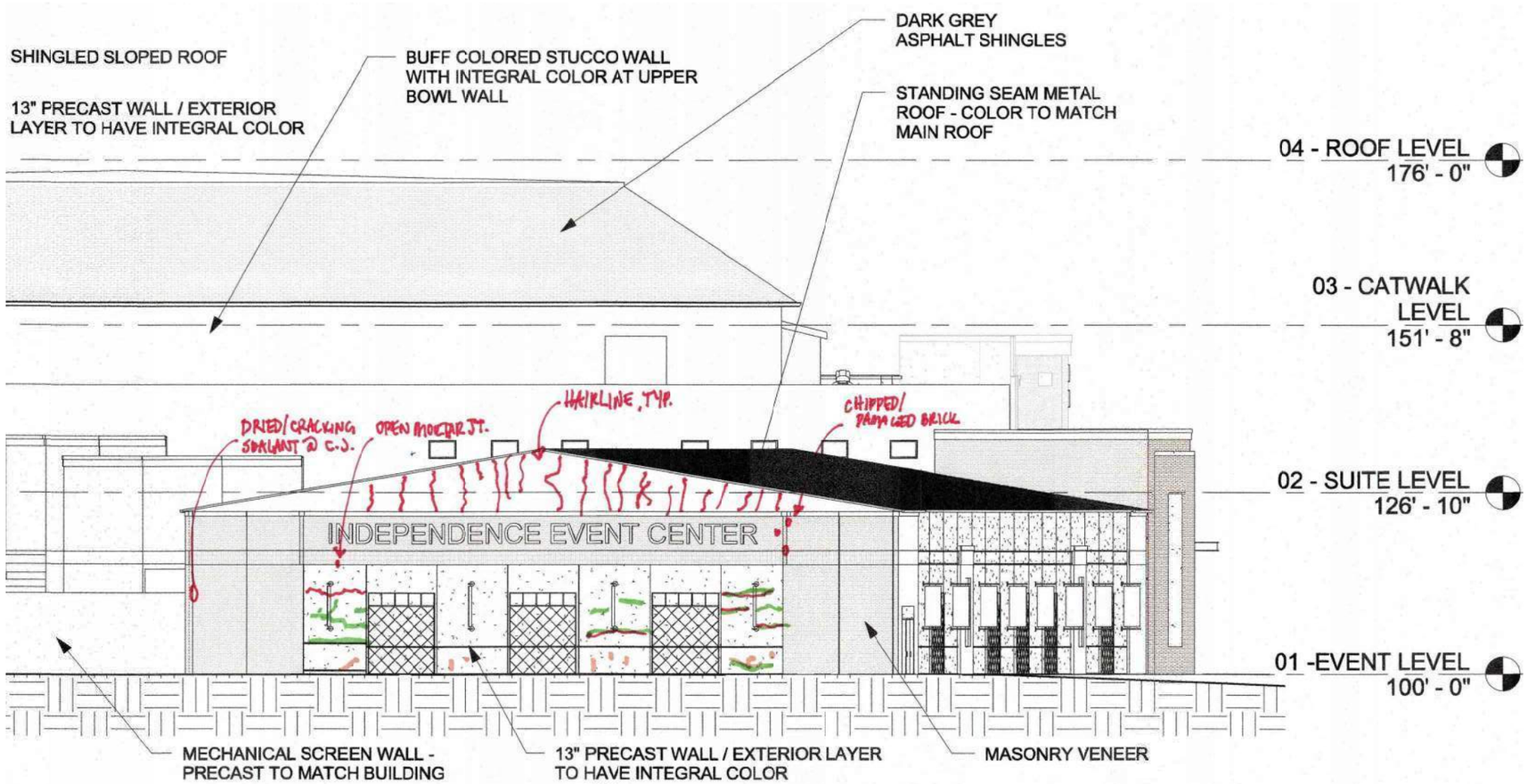
sfsarchitecture



South Entry Elevation

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

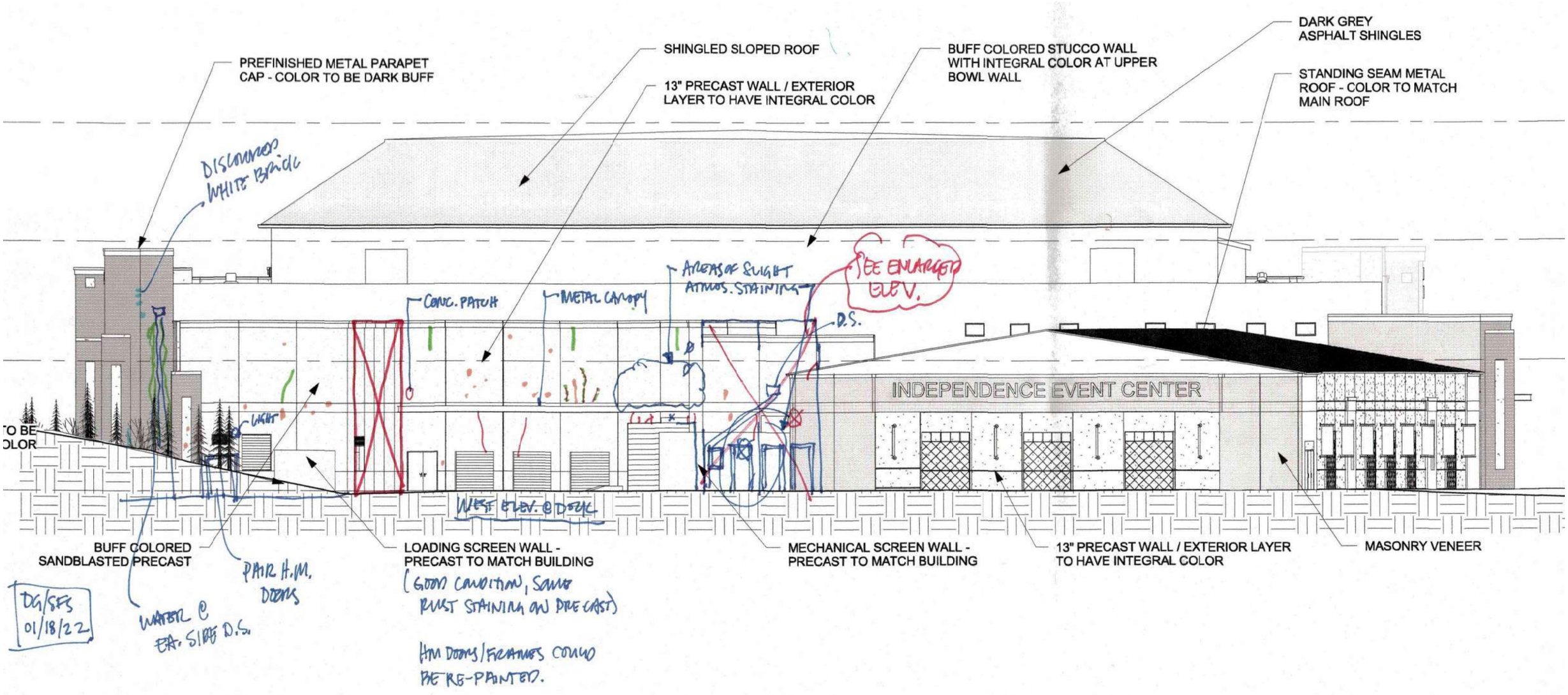
sfsarchitecture



West Elevation @ Community Ice

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

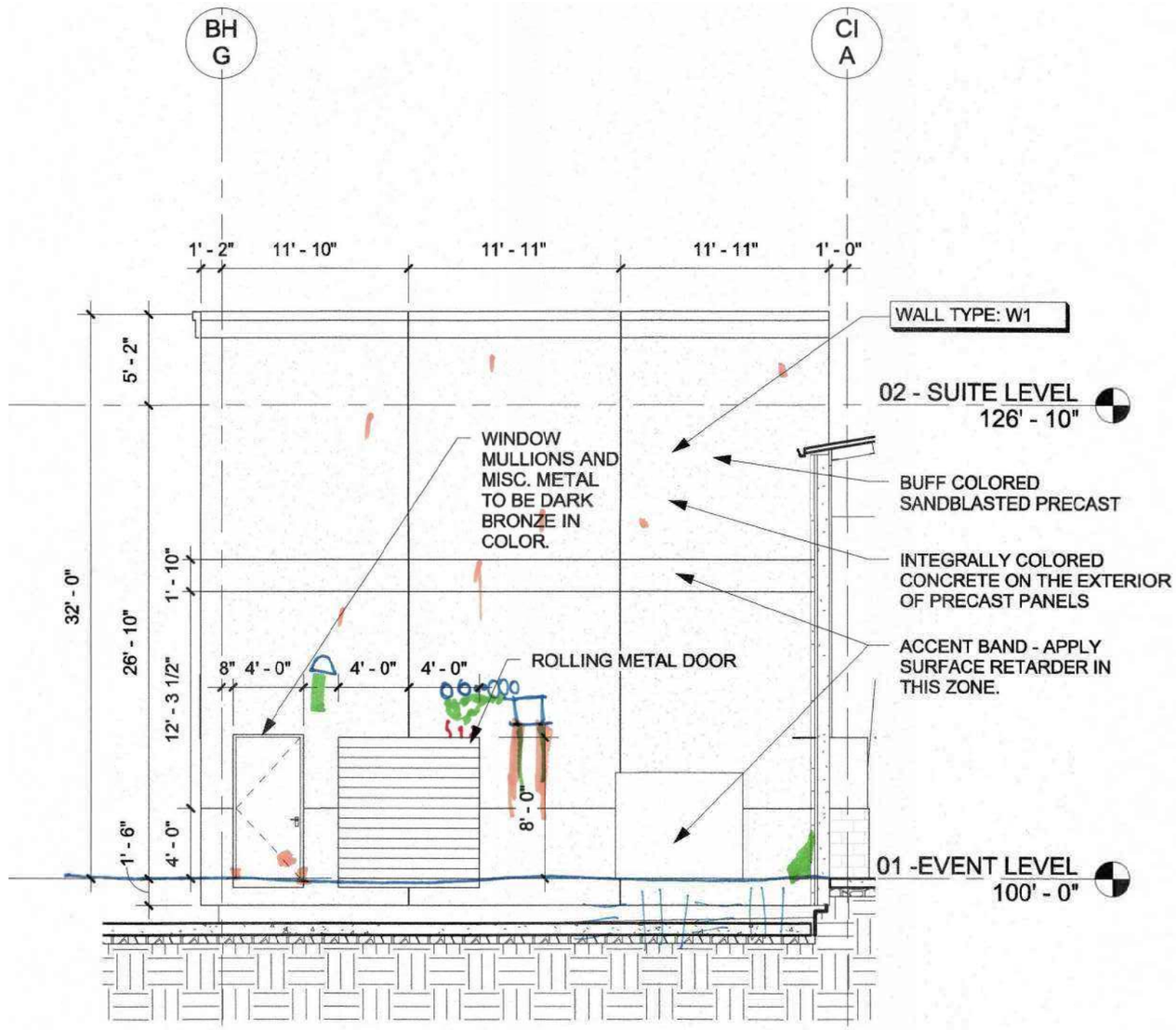
sfsarchitecture



West Elevation

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

sfsarchitecture



West Exterior Elevation @ Ice Chiller

CABLE DAHMER FACILITY ASSESSMENT | 02/04/22

sfsarchitecture

Section 4

Appendix B: Roofing Photographs

Photo 1 –Area “A”

Photo 2 –Area “A”

Photo 3 – Area “B”

Photo 4 – Area “B”

Photo 5 – Area “C”

Photo 6 – Area “C”

Photo 7 – Area "D"

Photo 8 – Area "D"

Photo 9 – Area "E"

Photo 10 – Area "E"

Photo 11 – Area "F"

Photo 12 – Area "F"

Photo 13 – Area "G"

Photo 14 – Area "G"

Photo 15 – Area "H"

Photo 16 – Area "H"

Photo 17 – Area "I"

Photo 18 – Area "I"

Photo 19 – Area "J"

Photo 20 – Area "K"

Photo 21 – Area "L"

Photo 22 – Area "M"

Photo 23 – Area "N"

Photo 24 – Area "N"

Photo 25 – Area "O" South Elevation

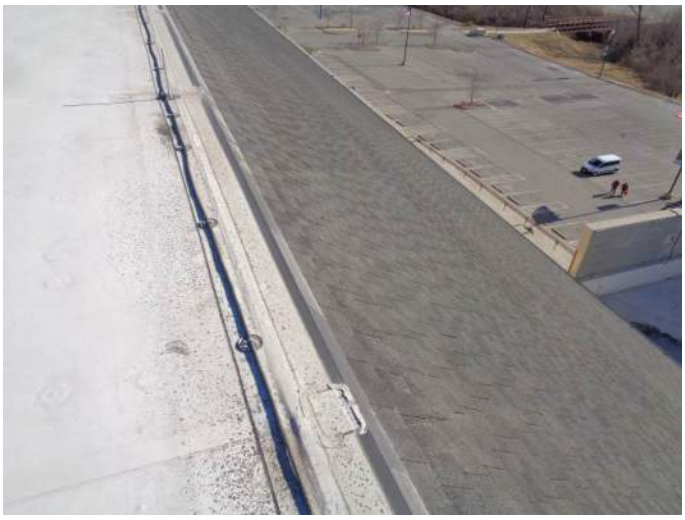


Photo 26 – Area "O" East Elevation

Photo 27 – Area "O" North Elevation

Photo 28 – Area "O" West Elevation

Photo 29 – Area "A" Deteriorated sealant on storm collar

Photo 30 – Area "A" Deteriorated sealant on storm collar

Photo 31 – Area "A" Open base flashing lap

Photo 32 – Area "A" Debris

Photo 33 – Area "A" Debris

Photo 34 – Area "A" Coating on membrane

Photo 35 – Area "B" Exhaust fan not attached

Photo 36 – Area "B" Exhaust fan not attached

Photo 37 – Area "B" Water behind base flashing

Photo 38 – Area "B" Coating on membrane

Photo 39 – Area "G" Damaged roof insulation

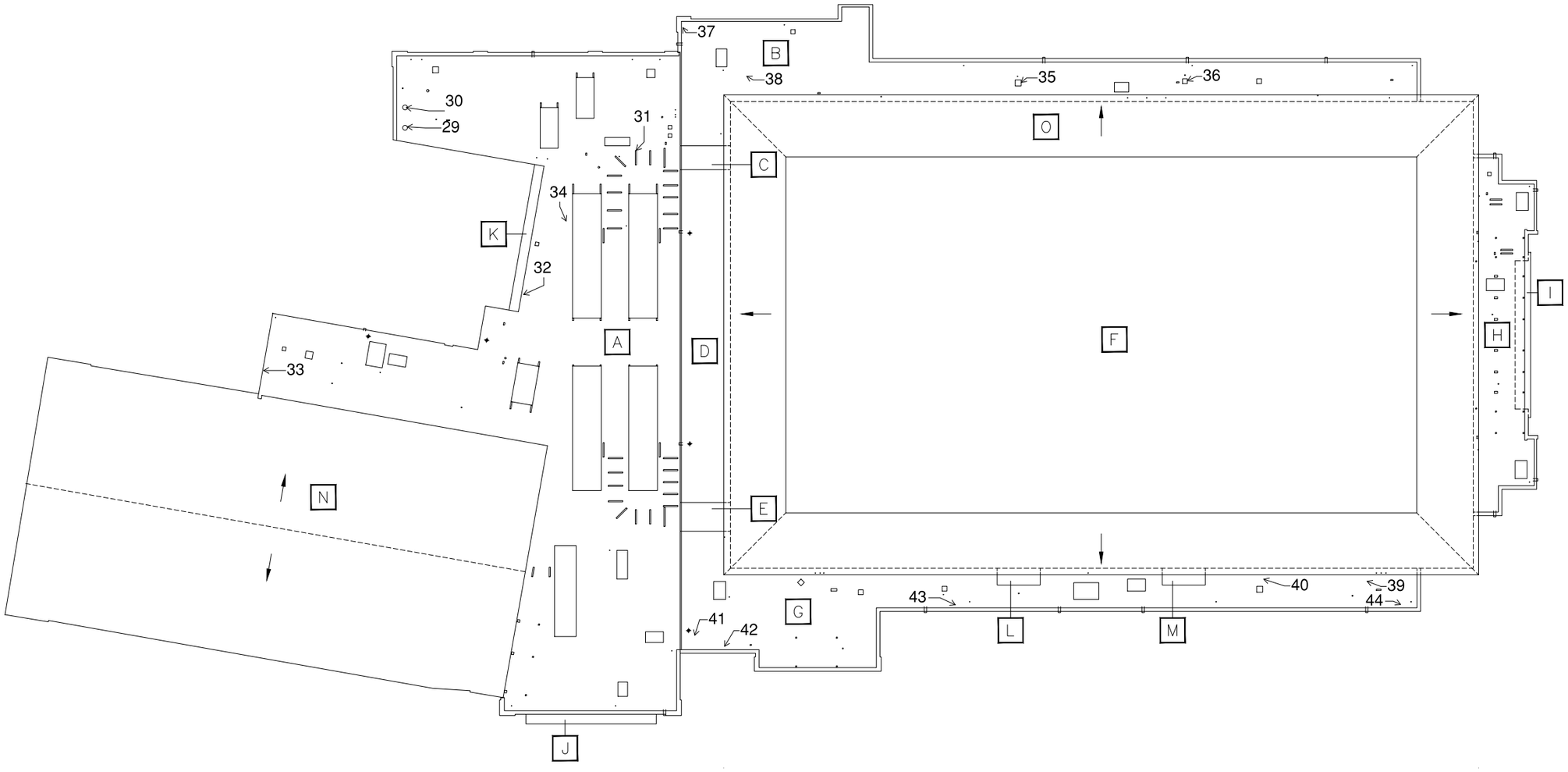
Photo 40 – Area "G" Damaged roof insulation

Photo 41 – Area "G" Debris

Photo 42 – Area "G" Debris

Photo 43 – Area "G" Debris

Photo 44 – Area "G" Debris



Project Name

CABLE-DAHMER ARENA

19100 E. VALLEY VIEW PARKWAY
INDEPENDENCE, MO 64055

RTI Consultants
22123 W. 83rd Street
Lenexa, KS 66227
(913) 649-6565

Date:	JANUARY 2022
Scale:	1"=20'-0"(NTS)

Revision No.	Date

Drawing Title

ROOF DIAGRAM

Drawing No.

22024.01

Section 4

Appendix C: MEP Schedules and Cost Estimates

Appendix C: ROOFTOP UNITS

Tag:	Area Served:	Type:	Clg./Htg.:	Manufactured: Date:	Visual Inspection Condition (Good, Fair, Poor) Cond Coil:	Refrig Piping:	Cabinet:	Evap Coil:	Burner:	Compressor:	Dampers:	Fan/Motor:	Replacement Priority (L/M/H):	Inspection Notes:
RTU-24-4	Community Ice Rink	SZ	DX/NG	No access	Fair	No access	Fair	No access	No access	No access	No access	No access	H	Unit operates nonstop & can't keep up. Might be undersized.
RTU-24-5	Arena Bowl	SZ	DX/NG	2009	Fair	Good	Fair	Good	Poor	Fair	Fair	Fair	M	Signs of flue gas condensate leakage at the backend of the heat exchanger.
RTU-24-6	Arena Bowl	SZ	DX/NG	2009	Fair	Good	Fair	Good	Poor	Fair	Fair	Fair	M	Signs of flue gas condensate leakage.
RTU-21-4	Arena Bowl	SZ	DX/NG	2009	Good	Fair	Fair	Good	Poor	Good	Fair	Fair	M	Burner has leaked some flue gas condensate on back end.
RTU-21-5	Arena Bowl	SZ	DX/NG	2009	Fair	Fair	Fair	Good	Poor	Poor	Fair	Fair	M	Some signs of flue gas condensate leakage.
RTU-21-1	Marshalling	SZ	DX/NG	2009	Poor	No access	Poor	No access	Poor	No access	No access	No access	M	Some damage to fins on condenser coil.
RTU-21-3	Commissary	VAV	DX/NG	2009	Poor	No access	Fair	No access	No access	No access	No access	No access	M	Condenser coil dirty & needs combed/repaired.
RTU-24-1	Party Room	SZ	DX/NG	Unreadable	Poor	No access	Fair	No access	No access	No access	No access	No access	L	Condenser coil dirty & needs combed/repaired.
RTU-24-2	Pro Shop	SZ	DX/NG	Unreadable	Poor	No access	Fair	No access	No access	No access	No access	No access	L	Some hail damage on west facing part of condenser coil.
RTU-25-1	Comm. Electric	SZ	DX/None	Unreadable	Poor	No access	Fair	No access	None	No access	No access	No access	L	Condenser coil dirty & needs combed/repaired.
RTU-25-2	Ice Chiller Room	SZ	DX/None	2009	Poor	No access	Fair	No access	None	No access	No access	No access	H	Condenser coil dirty & needs combed/repaired.
RTU-31-1	North Offices	SZ	DX/NG	Unreadable	Poor	No access	Fair	No access	No access	No access	No access	No access	H	Hail damage. Facilities staff has to shut outside air damper in summertime - unit is undersized.
RTU-32-1	Team Store	SZ	DX/NG	Unreadable	Poor	No acesss	Fair	No access	No access	No access	No access	No access	M	
RTU-32-2	North Concourse	SZ	DX/NG	Unreadable	Poor	No access	Fair	No access	No access	No access	No access	No access	L	Condenser coil dirty & needs combed/repaired.
RTU-32-3	East Concourse	SZ	DX/NG	2009	Poor	No access	Fair	No access	No access	No access	No access	No access	L	Condenser coil dirty & needs combed/repaired.
RTU-33-1	Ticket Sales	SZ	DX/NG	2009	Poor	No access	Fair	No access	No access	No access	No access	No access	M	Condenser coil dirty & needs combed/repaired. Facilities staff has to shut outside air damper in summertime - unit is undersized.
RTU-33-2	Club Lounge	SZ	DX/NG	2009	Poor	No access	Fair	No access	No access	No access	No access	No access	L	Condenser coil dirty & needs combed/repaired. Facilities staff feels unit is undersized.
RTU-33-3	South Concourse	SZ	DX/NG	2009	Poor	No access	Fair	No access	No access	No access	No access	No access	L	Condenser coil dirty & needs combed/repaired. Facilities staff feels unit is oversized.
RTU-34-1	South Offices	SZ	DX/NG	Unreadable	Very poor	No access	Fair	No access	No access	No acess	No access	No access	H	Some signs of flue gas condensate leakage.
MAU-21-1	Commissary	MAU	None/NG	2009	N/A	N/A	Poor	No access	Poor	N/A	Fair	Poor/aged fan housing	H	Flue condensate has leaked out of unit.
RTU-24-3	Home Lockers	VAV	DX/NG/Enthalpy Wheel	Unreadable	Good	N/A	Fair	Running	Poor	Fair	No access	No access	H	
RTU-25-3	Visitors Lockers	VAV	DX/NG/Enthalpy Wheel	Unreadable	Fair	N/A	Fair	No access	No access	No access	No access	No access	H	Bird/Hail screen damaged.

Visual Inspection Condition Ratings

GOOD: Visually & physically in good working condition.

FAIR: Some visual deterioration but generally in good working condition

POOR: Significant problems - i.e. coil degradation, operation problems, etc. Equipment >10 years old & has had significant maintenance issues

Appendix C: AIR CONDITIONING UNITS

Tag:	Area Served:	Type:	Manufactured: Date:	Visual Inspection Condition (Good, Fair, Poor) Cond Coil/Encl:	Refrig Piping:	Replacement Priority (L/M/H):	Inspection Notes:
HP-11-1/CU-31-1	Security Event Level	HP	2009	Fair	Good	M	
HP-12-1/CU-32-1	North Concourse Event Level	HP	2009	Fair	Poor -Insulation	H	R22 Unit. Wood curb shim sliding off. Condenser coil needs combed/repaired.
HP-12-2/CU-32-4	East Lobby Event Level	HP	2009	Good	Good	L	
HP-13-1/CU-33-1	South Concourse Event Level	HP	2009	Poor	Poor -Insulation	H	R22 Unit. Condenser coil needs combed/repaired.
HP-14-1/CU-34-1	South Concourse Event Level	HP	2009	Good	Good	L	
HP-15-1/CU-25-1	Fire Command Room	HP	2008	Fair	Poor -Insulation	M	
AC-11-1/CU-31-2	Elevator Machine Room	AC	2009	Poor	Poor -Insulation	L	Base support deteriorating.
AC-12-1/CU-32-2	Elevator Machine Room	AC	Unreadable	Poor	Poor -Insulation	H	R22 Unit. Condenser coil needs combed/repaired. Base support deteriorating.
AC-14-1/CU-34-2	Elevator Machine Room	AC	2008	Fair	Fair	L	
AC-21-1/CU-31-4	AC Control & Equipment Room	AC	2008	Fair	Fair	M	
CRAC-11-1/CU-31-3	Electrical Room Sector 1	AC	2009	Poor	Fair	H	R22 Unit.
CRAC-12-1/CU-32-3	Electrical Room Sector 2	AC	2009	Good	Good	H	R22 Unit.
CRAC-13-1/CU-33-2	Electrical Room Sector 3	AC	2009	Poor	Poor -Insulation	H	R22 Unit. Condenser coil needs combed/repaired.
CRAC-14-1/CU-34-3	Electrical Room Sector 4	AC	2009	Fair	Fair	H	R22 Unit.
CRAC-15-1/CU-25-2	Community Main Telecom	AC	2009	Fair	Poor -Insulation	H	R22 Unit.

Visual Inspection Condition Ratings

GOOD: Visually & physically in good working condition.

FAIR: Some visual deterioration but generally in good working condition.

POOR: Significant problems - i.e. coil degradation, operation problems, etc. Equipment >10 years old & has had significant maintenance issues.

Appendix C: EXHAUST FANS

Tag:	Area Served:	Type:	Manufactured: Date:	Visual Inspection Condition (Good, Fair, Poor) Housing:	Vibration/Noise:	Louver/Damper:	Fan/Motor:	Inspection Notes:
EF-21-1	Commissary Kitchen Exhaust Hood	Upblast	2009	Fair	Off	No access	Poor	Grease build up on fan blades.
EF-21-2	Commissary Dishwasher Exhaust	Upblast	2009	Poor-Dented	Off	No access	No access	Debris in housing.
EF-21-3	Water Entry Room General Exhaust	Roof Exhauster	2009	Fair	Off	No access	No access	Some fasteners missing.
EF-21-4	Security Room General Exhaust	Roof Exhauster	2009	Fair	Fair	No access	No access	Some fasteners missing.
EF-21-5	Zamboni General Exhaust	Roof Exhauster	2009	Fair	Off	No access	No access	
EF-24-1	General Exhaust Event Level	Roof Exhauster	2009	Fair	Off	No access	No access	
EF-25-1	Ice Chiller Room General Exhaust	Roof Exhauster	2009	Fair	Off	No access	No access	Some fasteners missing.
EF-25-2	Ice Chiller Room Emer. Ref. Exhaust	Roof Exhauster	2009	Fair	Off	No access	No access	
EF-31-1	General Exhaust Suite Level	Roof Exhauster	2009	Fair	Poor	No access	No access	
EF-32-1	General Exhaust Event Level	Roof Exhauster	2009	Fair	Off	No access	No access	
EF-32-2	Grille Exhaust Hood Event Level	Upblast	2009	Fair	Off	No access	No access	Grease build up in fan housing, grease drain clogged.
EF-32-3	General Exhaust Event Level	Roof Exhauster	2009	Fair	Off	No access	No access	Missing curb fasteners.
EF-32-4	General Exhaust Suite Level	Roof Exhauster	2009	Good	Off	No access	No access	
EF-33-1	General Exhaust Event Level	Roof Exhauster	2009	Fair	Off	No access	No access	
EF-33-2	General Exhaust Suite Level	Roof Exhauster	2009	Fair	Off	No access	No access	Missing housing fasteners.
EF-34-1	General Exhaust Suite Level	Roof Exhauster	2009	Good	Poor	No access	No access	
EF-34-2	General Exhaust Event Level	Roof Exhauster	2009	Good	Off	No access	No access	
EF-34-3	Grille Exhaust Hood Event Level	Upblast	2009	Fair	Off	No access	No access	
SF-11-1	Boiler Room Ventilation	Wall Propeller	2009	Not Inspected				
TF-21-1	Telecom Room Suite Level	Inline	2009	Not Inspected				
TF-22-1	Telecom Room Suite Level	Inline	2009	Not Inspected				
TF-23-1	Telecom Room Suite Level	Inline	2009	Not Inspected				
TF-24-1	Telecom Room Suite Level	Inline	2009	Not Inspected				
RSEF-31-1	Bowl Relief Smoke Exhaust Fan	Vane Axial	2009	Not Inspected				
RSEF-32-1	Bowl Relief Smoke Exhaust Fan	Vane Axial	2009	Not Inspected				
RSEF-33-1	Bowl Relief Smoke Exhaust Fan	Vane Axial	2009	Not Inspected				
RSEF-34-1	Bowl Relief Smoke Exhaust Fan	Vane Axial	2009	Not Inspected				

Visual Inspection Condition Ratings

GOOD: Visually & physically in good working condition.

FAIR: Some visual deterioration but generally in good working condition.

POOR: Significant problems - i.e. coil degradation, operation problems, etc. Equipment >10 years old & has had significant maintenance issues.

Cable Dahmer Arena
MEP Facility Improvement Recommendations

Facility Improvement Options:		ROM Cost:	Notes:
		MECHANICAL	
M1-H	Phased Replacement of All RTUs - High Priority	$1,100,000	Assumes Existing Ducwork & Electrical/NG Services Can be Reused
M1-M	Phased Replacement of All RTUs - Medium Priority	$4,200,000	Assumes Existing Ducwork & Electrical/NG Services Can be Reused
M1-L	Phased Replacement of All RTUs - Low Priority	$320,000	Assumes Existing Ducwork & Electrical/NG Services Can be Reused
M2	Replacement of RTU-24-4 Serving the Community Ice Rink	$380,000	Assumes Existing Ducwork & Electrical/NG Services Can be Reused
M3	Reconfirm Cooling Loads for RTUs 31-1, 33-1, 33-2 & 33-3	TBD	An Engineer Would Need to be Hired to Reconfirm Cooling Loads
M4	Reconnect RTU-25-3 Condenser Coil Bird/Hail Screen	$400	Includes Simply Reconnecting Screen to Unit
M5	Comb Air Conditioning Unit Condenser Coils	$3,600	Includes 2 Hour/Each of Labor to Comb Each of the (15) Condensing Units
M6	Replace Air Conditioner Base Support	$15,100	Includes Replacing Base Supports on (15) Rooftop Condensing Units
M7	Replace R-22 Refrigerant Air Conditioning Systems	$210,000	Assumes Refrigerant Piping Will be Reused
M8	Install Exterior Refrigeration Pipe Insulation Coating	$11,100	Includes Replacing Exterior Insulation & Applying New Coating on 15 Units
M9	Replace Liebert Air Conditioning Unit Controls	$39,400	Includes Connecting (5) Liebert Units to Siemens BAS
M10-H	Phased Replacement of All Air Conditioning Units - High Priority	$210,000	Assumes Refrigerant Piping Will be Reused
M10-M	Phased Replacement of All Air Conditioning Units - Medium Priority	$55,000	Assumes Refrigerant Piping Will be Reused
M10-L	Phased Replacement of All Air Conditioning Units - Low Priority	$110,000	Assumes Refrigerant Piping Will be Reused
M11	Remove Grease & Debris From Exhaust Fans	$1,800	Includes Cleaning/Removing Grease on Fan Only - Fan/Components to be Reused
M12	Replace Missing Fasteners on Exhaust Fans	$700	Includes Fasteners for (5) Exhaust Fans
M13	Evaluate/Repair Grooved End Pipe Fittings	TBD	Need to Evaluate Entire Piping System to Determine Scope
M14	Install Insulation on Hot Water Pipe Fittings	$3,700	Includes Boiler/Pump Fittings in Boiler Room Only
M15	Reconnect Radiant Heater Flue Pipe	$1,500	Includes Bringing in Scissor Lift to Access & Reconnect Flue Pipe
M16	Pursue Utility Rebates	-$20,000	IPL's Rebate Program Currently Offers Up to $20,000 for Retrofit of HVAC Equipment
	ROM Cost - Mechanical:	**$6,642,300**	
		ELECTRICAL	
E1	Continued Conversion of Lighting Source to LED	$141,000	Replace Non-LED Lamps with LEDs. Assumed $35/Fixt for Non-Arena Spaces
E2	Replace Batteries in Generator	$1,287	Quote From Faith Technologies
E3	Schedule Inspection of Lightning Protection System	$1,500	Includes (2) People for Single Day to Perform Inspection & Provide Report
	ROM Cost - Electrical:	**$143,787**	
		PLUMBING	
P1	Replace Plumbing Fixtures with High Efficient Fixtures	$280,000	Includes Replace Lavatory/Sink Aerators & Replacing Water Closets/Urinals
P2	Repair Parking Lot Storm Drain Outlets	$85,862	Quote From Rodriquez Mechanical
	ROM Cost - Plumbing:	**$365,862**	
		ICE PLANT	
IP1	Clean Ice Plant Mechanical Room, Paint Pipe & Misc Equipment	$10,000	
IP2	Perform NDT testing of supplya nd Return Brine Piping in chiller room	$5,000	Not Destructive Pipe testing, Ultra Sonic test to determine defects in the pipe
IP3	Repalce Warm Floor Expansion Tank	$9,500	
IP4	Install level tubes on existing expansion tank	$3,500	Visual level of tank from the floor
IP5	Investigate brine leak on Main rink (warm floor)	$5,000	
IP6	Repalce missing pipe labels	$2,000	Replace pipe labels that are missing
IP7	Replace and re-insualte sock filter	$5,500	
IP8	Replace Condensing Unit within the next 2-3 years	$45,000	Repalce exisitng BAC Condensing Unit, will need to evaluate pricing if not replaced within I year
IP9	Repair / Replace existing control valves	$14,500	
	ROM Cost - Ice Plant:	**$100,000**	
	TOTAL ROM Cost:	**$7,251,949**	

Section 4

Appendix D: Generator Testing

LOAD BANK REPORT

Date 1/13/22 | Unit | WO# 155074 | Customer Faith Technologies

Generator make Kohler | HOURS | Fuel Level | Engine model D500 16.1B65

Generator model 500REOZVB | start 450.4 | start 100% | Engine cpl

Generator serial 2235994 | end 454.5 | end 90% | Engine serial

Min	Test Time	Hours	Volts A-B	Volts B-C	Volts C-A	Amps A	Amps B	Amps C	Gen freq	KW load	%Load	Oil psi	Oil temp	Water temp	Engine alt	Ambient temp
Start	9:00	450.4	482	482	482	159	158	157	60	131	26%	75	N/A	160	28.5	43
15	9:15	450.7	481	481	482	159	159	157	60	131	26%	70	N/A	175	28.5	43
30	9:30	450.9	481	481	482	159	158	157	60	131	26%	70	N/A	175	29	45
45	9:45	451.2	481	481	481	159	157	157	60	131	26%	75	N/A	175	29	45
60	10:00	451.4	481	481	482	159	157	157	60	131	26%	75	N/A	175	29	45
75	10:15	451.7	481	481	481	313	312	311	60	260	51%	70	N/A	175	29	48
90	10:30	451.9	481	481	481	313	312	311	60	260	51%	70	N/A	175	29	48
105	10:45	452.2	481	481	481	313	312	310	60	260	51%	70	N/A	175	29	48
120	11:00	452.4	481	481	481	313	312	310	60	260	51%	70	N/A	175	29	50
135	11:15	452.7	480	481	480	461	460	457	60	382	75%	70	N/A	180	29	52
150	11:30	452.9	481	481	481	461	460	457	60	382	75%	70	N/A	180	29	52
165	11:45	453.2	480	481	480	462	460	457	60	382	75%	70	N/A	180	29	54
180	12:00	453.4	480	481	481	461	460	457	60	382	75%	70	N/A	180	29	54
195	12:15	453.7	480	480	481	459	459	456	60	382	75%	65	N/A	180	29	54
210	12:30	453.9	480	481	480	463	462	459	60	382	75%	65	N/A	180	29	54
225	12:45	454.2	480	480	480	465	463	461	60	382	75%	65	N/A	180	29	54
240	13:00	454.4	480	481	480	465	463	461	60	382	75%	65	N/A	180	29	56
END	13:05	454.5	482	482	482	0	0	0	60	0	0%	75	N/A	175	29	56

Notes: At 10:00 increased load to 260 KW. At 11:00 increased load to 382 KW. Passed load bank test.

Section 4

Appendix E: Wagner-Meinert Report

WAGNER-MEINERT LLC
Engineers – Contractors
www.wagner-meinert.com

Curt,

It was a pleasure meeting you and going over my observations regarding our opinion on the Ice Plant at Cable Dehmer Arena. Our recommendations are as follows.

- Clean Room, Chiller Package and Paint Pipe and Chiller
- Perform NDT Testing on Supply and Return to Determine Integrity of Pipes
- Replace Warm Floor Expansion Tank
- Install Level Tubs on all Expansion Tanks so Level Can be Determined from Ground.
- Locate and repair Brine leak on Main Rink Warm Floor
- Replace Missing and Un legible Pipe labels
- Replace and Reinsulate Sock Filter
- Condenser will need to be Replaced with in the Next Few Years
- Recommend Control System be replaced, and Ice plant Control be Added to existing Building Control System Before Next Update is Needed.
- Recommend Regular Maintenance be Established ether Quarterly or Semi Annual

Feel free to reach out to me of you have any questions or concerns thank you.

Dan Mikes
Service Leader
Wagner-Meinert, LLC

Section 4

Appendix F: TriMark Kitchen Equipment Proposal

REPLACEMENT BUDGET

02/17/2022

Project:
Cable Dahmer Recommeded
Replacement Equipment
Phasing of Equipment Replacement

From:
TriMark Hockenbergs
Terry Anderson
14603 W 112th
Lenexa, KS 66215-
402-339-8900
(913)998-7568 (Contact)

Project Code: 46155 Job Reference Number: 40723

TriMark will make best efforts to hold above prices for 30 days, however pricing may change due to manufacturer cost increases outside of TriMark's control. TriMark reserves the right to make any corrections or adjustments due to cost increases, errors, market fluctuations, supply chain disruptions, tariffs, third party supplier changes in cost or factors outside of TriMark's control. TriMark shall be permitted to increase Pricing without Customer's and /or its Franchisees consent. TriMark will provide reasonable written notice in the form of a final NSO quote to Customer and/or Franchisee at time Franchisee payment and signed quote. TriMark reserves the right to cancel or refuse any orders based on incorrect pricing or availability.

Item	Qty	Description	Sell	Sell Total
		PHASE 1. EQUIPMENT THAT IS CURRENTLY NOT FULLY OPERATIONAL AND NEEDS TO BE REPLACED.		
	1 ea	**ICE MAKER, CUBE-STYLE** Manitowoc Model No. IYT1500A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 48"W x 24"D x 29-1/2"H, production capacity up to 1660 lb/24 hours at 70°/50° (1412 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410 refrigerant, NSF, cULus, CE	$7,817.43	$7,817.43
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor (Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-261A) 208-230v/60/1-ph, 18.5 amps		
		Commissary/FS1-Compressor drawing amps, evap plating worn-REPLACMENT RECOMMEDED		
		Freight:	$57.54	$57.54
		ITEM TOTAL:		**$7,874.97**
	1 ea	**CONVECTION STEAMER, GAS**	$22,325.95	$22,325.95

Item	Qty	Description	Sell	Sell Total
		Cleveland Range Model No. 24CGA10 Steamcraft® Ultra 10 Convection Steamer, pressureless, gas, 2 compartments, (5) 12 x 20 x 2 1/2 pans/compartment capacity, manual controls, 60-minute mechanical timer & manual (continuous steaming) bypass switch, left-hand hinged door, controls on right, steam shut-off switch, electronic spark ignition, 1 standard treated & tap water connection, stainless steel construction, 6" adjustable legs with flanged feet, 125,000 BTU		
	1 ea	1-year parts & labor warranty, standard		
	1 ea	5 year pro-rated parts warranty on boilers & steam generators		
	1 ea	3 year Convection Steamer Door Warranty, standard		
	1 ea	Performance start-up included at customer request after equipment is installed (Free Water Quality Check included) (contact Cleveland Sales Representative for details)		
	1 ea	Natural Gas		
	1 ea	(VOS115) 120v/60/1-ph, 2.0 amps, 2-wire (DO NOT connect to GFI outlet)		
		Commissary/FS1-Seals leaking, build up, drain solenoid leaking by. Internally compromised. REPLACEMENT RECOMMEDED		
		Freight:	$139.46	$139.46
		ITEM TOTAL:		**$22,465.41**
	1 ea	**TILTING SKILLET BRAISING PAN, GAS**	$20,987.04	$20,987.04
		Cleveland Range Model No. SGL30TR DuraPan™ Tilting Skillet, gas, 30-gallon capacity, modular open base, standard with hydraulic hand tilt with quick lowering feature, stainless steel construction, includes spring-assisted cover, gallon markings and electronic spark ignition, stainless steel level adjustable feet, CE, NSF, 91,000 BTU, IPX6		
	1 ea	1-year parts & labor warranty, standard		
	1 ea	Performance start-up included at customer request after equipment is installed (Free Water Quality Check included) (contact Cleveland Sales Representative for details)		
	1 ea	Natural Gas		
	1 ea	120v/60/1-ph, 1.8 amps NEMA 5-15P, standard		
	1 ea	PT1 Power Tilt, with hand tilt override	$517.93	$517.93
	1 ea	DPK14 Double Pantry Faucet And Bracket For SEL30TR, SEL40TR, SGL30TR, SGL40TR, SGM30TR, SGM40TR, SEM30TR, SEM40TR	$681.60	$681.60
		Commissary/FS1-Burners failing to light, tilting mech leaking fluid. RECOMMEND REPLACEMENT		
		Freight:	$126.14	$126.14
		ITEM TOTAL:		**$22,312.71**
	1 ea	**GAS FRYER, BATTERY**	$22,077.90	$22,077.90
		Dean Industries Model No. 2FPRG50T PowerRunner™ Fryer, gas, floor model, (2) 50 lb. capacity each, built-in filtration, thermo tube-type design, temperature probe, millivolt control system, includes: filter starter kit, drain safety switch, 4 GPM pump, stainless steel frypots, doors, & cabinets, (2) 120,000 BTU, cCSAus, NSF		

Item	Qty	Description	Sell	Sell Total
	1 ea	Note: Prices listed are for within the USA only. Please contact the factory for pricing if quoting outside of the USA		
	1 ea	FRYPOT warranty - 1st year: parts and labor, 2nd - 10th years: parts only, standard		
	1 ea	Natural gas (specify elevation if over 2,000 ft.)		
	2 ea	THERMATRON Controller	$283.14	$566.28
	1 ea	120v/60/1-ph, 8.0 amps, filter		
	2 ea	1061637 Frypot Cover, 15" W x 21-3/8" D, for frypots without basket lifts (SR42, SR52)	$205.63	$411.26
	1 ea	Fryer: Casters, standard		
	1 ea	Right side, 1" Rear gas manifold without shut-off valve (fryer with filter), standard		
	1 ea	Start-Up Program, for first frypot (when purchased without filtration) (Contact Authorized Service Agent at least 48 hours in advance) (net)	$291.20	$291.20
	1 ea	Start-Up Program includes gas pressure check, boil out of all frypots, gas plumbing size, wiring inspection, proper basket lift operation, cleaning of all frypots with damp rag/paper towels, controller check & programming demonstration, inspection of vent hood & demonstration of the proper use & care of the filter sys (if all is applicable)		
		Commissary/FS1-Burner Baffle Damaged, vat 1 leaking from pot, flue clogged. RECOMMEND REPLACMENT		
		Freight:	$94.55	$94.55
		ITEM TOTAL:		**$23,441.19**
	1 ea	**HD RANGE, 36", 4 OPEN BURNERS**	$14,370.20	$14,370.20
		Garland/US Range Model No. C836-7 Cuisine Series Heavy Duty Range, gas, 36", (4) 30,000 BTU open burners, standard oven, includes (1) rack, 6" backguard, stainless steel front & sides, 6" adjustable legs, 160,000 BTU , CSA Flame, CSA Star, NSF (US Range)		
	1 ea	Two year limited parts and labor warranty, covers products purchased and installed in the USA only, standard		
	1 ea	Natural gas, specify elevation if over 2,000 ft		
	1 ea	1-1/4" NPT, Front manifold, standard (nc		
	1 ea	Extra Oven Rack, for full size standard ovens	$422.50	$422.50
	1 ea	Porcelain oven interior, standard		
	1 ea	Swivel Casters, polyurethane wheels (non-marking)	$1,036.10	$1,036.10
		Commissary/FS1-Gas lines pitted and possible leak areas, oven pilots won't stay lit. **RECOMMEND REPLACEMENT**		
		Freight:	$120.76	$120.76
		ITEM TOTAL:		**$15,949.56**
	1 ea	**SMOKER OVEN**	$14,106.22	$14,106.22

Item	Qty	Description	Sell	Sell Total
		Alto-Shaam Model No. 1750-SK Halo Heat® Smoker Oven, electric, low-temperature, double-deck, 100 lb. capacity each - (1) rib rack shelf per compartment, (4) 12" x 20" x 2-1/2" full-size pans, (2) stainless steel wire shelves per cavity, simple or deluxe controls, programmable recipes, probe, (2) exterior drip trays, includes (1) sample bag each of cherry, hickory, apple & maple wood chips, heavy-duty stainless steel construction with solid door, 3-1/2" casters (2 rigid, 2 swivel with brakes), EcoSmart®, cULus, UL EPH Classified, CE, IPX4, EAC, TUV NORD		
	1 ea	NOTE: Subject to Manufacturer's Terms & Conditions. See Documents Section		
	1 ea	208-240v/60/1-ph, 33-38 amps, 7.0-9.0 kW, NO cord, NO plug		
	1 ea	NEMA 6-50P & 8 ft. cord	$223.39	$223.39
	1 ea	Simple controls, standard		
	2 ea	Window door, hinged on right, price per door (factory installed)	$1,267.23	$2,534.46
	1 ea	Stainless steel exterior, standard		
	1 ea	1034370 Drip Pan, without drain, stainless steel, 1-5/8" (41mm)	$158.51	$158.51
	1 st	5014422R Casters, 3-1/2" (89mm), stem, (2) rigid, (2) swivel with brakes		
		Commissary/FS1-Glass seal compromised, not all heating elements working. RECOMMEND REPLACEMENT		
		Freight:	$131.99	$131.99
		ITEM TOTAL:		**$17,154.57**
	1 ea	**SANDWICH / SALAD PREPARATION REFRIGERATOR**	$6,480.27	$6,480.27
		True Mfg. - General Foodservice Model No. TSSU-60-12-ADA-HC Sandwich/Salad Unit, 34" work surface height, (12) 1/6 size (4"D) poly pans, stainless steel insulated cover, 11-3/4"D cutting board, (2) full doors, (4) PVC coated adjustable wire shelves, stainless steel top/front/sides, GalFan coated steel back, aluminum interior with stainless steel floor, 3" castors, R290 Hydrocarbon refrigerant, 1/3 HP, 115v/60/1-ph, 6.5 amps, NEMA 5-15P, cULus, UL EPH Classified, ADA Compliant, Made in USA contact factory for price contact factory for price		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	NOTE: Due to ongoing supply chain issues, this model has extended lead times. Please contact your True sales representative for pricing, availability, and alternatives.		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
		Commissary/FS1-Unit won't keep temp, possible leak in refrig system, evap fans bearing squealing. RECOMMEND REPLACEMENT		
		Freight:	$73.64	$73.64
		ITEM TOTAL:		**$6,553.91**

Item	Qty	Description	Sell	Sell Total
	1 ea	**ROLL-IN REFRIGERATOR**	$10,101.21	$10,101.21
		True Mfg. - General Foodservice Model No. STG2RRI-2S SPEC SERIES® Refrigerator, roll-in, (2) stainless steel doors with locks, cam-lift hinges, digital temperature control, incandescent interior lighting, stainless steel ramps, stainless steel front, aluminum sides, aluminum interior, 1/2 HP, 115v/60/1-ph, 11.8 amps, NEMA 5-15P, (accommodates 27"W x 29"D x 66"H carts, NOT included), cULus, UL EPH Classified, Made in USA		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 5 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Left door hinged left, right door hinged right standard		
		Commissary/FS1-Compressor Over amping, doors not closing properly, signs of refrig system leak, Unit won't keep temp. RECOMMEND REPLACEMENT		
		Freight:	$135.51	$135.51
		ITEM TOTAL:		**$10,236.72**
	1 ea	**WASTE COLLECTOR**	$9,352.66	$9,352.66
		Salvajor Model No. P914 Pot/Pan Scrap Collector™, scrapping, pre-flushing & collecting system (widely accepted in areas where disposers are restricted), NEMA 4 HYDROLOGIC® control panel with patented operator sensor, two water saving modes (timed run & auto start/stop), safety line disconnect, LCD readout, salvage basin & silverware trap, scrap basket, 3/4 HP corrosion-resistant pump, pump intake screen, stainless steel construction, UL, CSA, CE, NSF		
	1 ea	Collector top is available to ship to the fabricator in advance of unit (additional shipping charges will apply). Please provide instructions on order		
	1 ea	208v/60/3-ph, 3.2 amps		
		Commissary/FS1- Issues with Motor, not operational,-RECOMMEND REPLACEMENT		
		Freight:	$117.23	$117.23
		ITEM TOTAL:		**$9,469.89**
	1 ea	**DISHWASHER, DOOR TYPE**	$21,580.65	$21,580.65
		Hobart Model No. AM16T-BAS-2 Dishwasher, door type, tall chamber (27”), high temp sanitizing, 208-240/60/3 (field convertible to single phase), 60 racks/hour, straight-thru or corner, user-friendly smart touchscreen controls, Sense-A-Temp™ booster, electric tank heat, pumped rinse, pumped drain, auto-fill, stainless steel tank, frame, doors & feet, sheet pan rack, cULus, NSF, ENERGY STAR®		
	1 ea	Standard warranty - 1-Year parts, labor & travel time during normal working hours within the USA		

Item	Qty	Description	Sell	Sell Total
	1 ea	WWST-STARTUP1YES Startup by Factory Trained Technician - Confirmation of correct machine and utility installation; performance check to ensure machine is operating to factory specifications; adjustments as needed, and customer demo. For installations within 100 miles of a Hobart Service Office during normal business hours with appropriate notice; beyond 100 miles contact Hobart Service. See Hobart Service for complete details	$474.50	$474.50
	1 ea	DWT-AM16 Drain water tempering (single valve) kit with Pumped Drain Air Gap for BAS and Tall models	$936.85	$936.85
	1 ea	ACC-INSTALL-HOB Accessory Installation - for installation within 100 miles of a Hobart Service Office during normal business hours with appropriate notice; installation beyond 100 miles will be quoted by Service. Includes installation of this item only, final electrical or plumbing connections by others. Recommendation: coordinate accessory installation with machine assembly/ installation (NET)	$845.00	$845.00
	1 ea	CORNER-INST-AM16 Splash Shield for Corner Installations – Includes splash panel and sheet pan adaptor	$392.68	$392.68
		Commissary/FS1-Leaking valves, hoses torn, top seals damaged, controls not operational. RECOMMEND REPLACEMENT		
			ITEM TOTAL:	**$24,229.68**
	1 ea	**REACH-IN DUAL TEMP CABINET**	$13,770.68	$13,770.68
		True Mfg. - General Foodservice Model No. T-49DT-HC Refrigerator/Freezer, reach-in, two-section, (2) stainless steel doors, (6) PVC coated adjustable wire shelves, interior lighting, stainless steel front, aluminum sides, aluminum interior with stainless steel floor, 4" stem castors (2 with brakes), R290 Hydrocarbon refrigerant, refrigerator 1/4 HP, freezer 1/2 HP, 115v/60/1-ph, 4.6 amps, NEMA 5-15P, cULus, UL EPH Classified, Made in USA		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
	1 ea	Left door hinged left, right door hinged right standard		
	1 ea	4" stem castors, standard (adds 5" to OA height)		
		Commissary/FS1-Unit not operational, both refrigeration systems leak. RECOMMEND REPLACEMENT		
			Freight: $100.16	$100.16
			ITEM TOTAL:	**$13,870.84**
		SUBTOTAL		$173,559.45

PHASE 2-WALK-IN'S SHOULD BE UPGRADED WITH THE AMOUNT OF PRODUCT THAT IS HELD IN THESE UNITS AND THE FACT THEY ARE AT RISK FOR FAILURE IN THE NEAR FUTURE. THIS SHOULD BE CONSIDERED A HIGH PRIORITY ITEM.

Item	Qty	Description	Sell	Sell Total
	1 ea	**REPLACE REFRIGERATION SYSTEM FOR WALK-IN COOLER/COOLER/FREEZER COMPLEX** CSI Model No. CUSTOM 3 COMPARTMENT WALK IN (KOLPAK) Quote to replace refrigeration components in walk in freezer/cooler/cooler, seal walk in, and remedy leaking thermal break. CSI to recover refrigerant and disconnect existing evaporator, condensing unit, and controls remove from site and dispose of. CSI to flush and re-insulate existing refrigeration line set as needed. CSI to furnish and install new evaporator coil, condensing unit and controls. CSI to supply materials and connect to existing correct and properly sized utilities. CSI to heat trace and insulate condensate drain as needed. CSI to completely reseal entire walk in panel joints and penetrations as required. CSI to extended electrical from lighting circuit and install heat trace along base of walk in walls where thermal break is leaking, CSI to supply and install base cove over heat trace for clean finish. CSI to start up, adjust, and ensure proper operation. New Condensing Replacement Units and Evaporators for each walk-in system 3 HP condenser for the Freezer Unit with matching evaporator 2 HP condenser for the Cooler Unit with matching evaporator 2 HP condenser for the Cooler Unit with matching evaporator System will include all controls, valves, and refrigerant required for the correct operation of the system. **Commissary/FS1-Door area's need to be address along with Compressors and Evaporators. Units currently working but high risk of failure.**	$78,000.00	$78,000.00
			ITEM TOTAL:	**$78,000.00**
	1 ea	**REPLACE REFRIGERATION SYSTEM FOR WALK-IN COOLER/COOLER/FREEZER COMPLEX** CSI Model No. CUSTOM 1 COMPARTMENT WALK IN -COOLER (KOLPAK) Quote to replace refrigeration components in walk in cooler, seal walk in, and remedy leaking thermal break. CSI to recover refrigerant and disconnect existing evaporator, condensing unit, and controls remove from site and dispose of. CSI to flush and re-insulate existing refrigeration line set as needed. CSI to furnish and install new evaporator coil, condensing	$19,500.00	$19,500.00

Item	Qty	Description	Sell	Sell Total
		unit and controls. CSI to supply materials and connect to existing correct and properly sized utilities. CSI to heat trace and insulate condensate drain as needed. CSI to completely reseal entire walk in panel joints and penetrations as required. CSI to extended electrical from lighting circuit and install heat trace along base of walk in walls where thermal break is leaking, CSI to supply and install base cove over heat trace for clean finish. CSI to start up, adjust, and ensure proper operation. 1 HP condenser for the Cooler Unit with matching evaporator System will include all controls, valves, and refrigerant required for the correct operation of the system. **Suite Pantry-Door area's need to be address along with Compressors and Evaporators. Units currently working but high risk of failure.**		
			ITEM TOTAL:	**$19,500.00**
		SUBTOTAL		$97,500.00
		PHASE 3-ALL REFRIGERATION AND ICE MACHINE ARE PAST THERE EXPECTED LIFE SPAN AND SHOULD BE BUDGETED FOR REPLACEMENT.		
	1 ea	**ICE MAKER, CUBE-STYLE**	$3,544.49	$3,544.49
		Manitowoc Model No. IYT0450A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 30"W x 24"D x 21-1/2"H, production capacity up to 490 lb/24 hours at 70°/50° (378 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410A refrigerant, NSF, cULus, CE, ENERGY STAR®		
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor (Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-161) 115v/60/1-ph, 11.9 amps		
	1 ea	D570 Ice Bin, 30"W x 34"D x 50"H, with side-hinged front-opening door, side grips, 532 lbs. application capacity, AHRI certified 17.9 cu. ft., for top-mounted ice maker, Duratech exterior, NSF	$1,471.94	$1,471.94
	1 ea	WARRANTY-BIN/DISP 3 year parts & labor warranty, standard		
	1 ea	Legs, 6" adjustable stainless steel, standard		
			Freight: $56.16	$56.16
			ITEM TOTAL:	**$5,072.59**
	1 ea	**ICE MAKER, CUBE-STYLE**	$7,817.43	$7,817.43

Item	Qty	Description	Sell	Sell Total
		Manitowoc Model No. IYT1500A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 48"W x 24"D x 29-1/2"H, production capacity up to 1660 lb/24 hours at 70°/50° (1412 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410 refrigerant, NSF, cULus, CE		
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor (Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-261A) 208-230v/60/1-ph, 18.5 amps		
	1 ea	D970 Ice Bin, 48"W x 34"D x 50"H, with side-hinged front-opening door, side grips, 882 lbs. application capacity, AHRI certified 29.7 cu. ft., for top-mounted ice maker, Duratech exterior, NSF	$2,040.96	$2,040.96
	1 ea	WARRANTY-BIN/DISP 3 year parts & labor warranty, standard		
	1 ea	Legs, 6" adjustable stainless steel, standard		
		Freight:	$87.10	$87.10
		ITEM TOTAL:		**$9,945.49**
	1 ea	**ICE MAKER, CUBE-STYLE**	$3,544.49	$3,544.49
		Manitowoc Model No. IYT0450A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 30"W x 24"D x 21-1/2"H, production capacity up to 490 lb/24 hours at 70°/50° (378 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410A refrigerant, NSF, cULus, CE, ENERGY STAR®		
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor (Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-161) 115v/60/1-ph, 11.9 amps		
	1 ea	D570 Ice Bin, 30"W x 34"D x 50"H, with side-hinged front-opening door, side grips, 532 lbs. application capacity, AHRI certified 17.9 cu. ft., for top-mounted ice maker, Duratech exterior, NSF	$1,471.94	$1,471.94
	1 ea	WARRANTY-BIN/DISP 3 year parts & labor warranty, standard		
	1 ea	Legs, 6" adjustable stainless steel, standard		
		Freight:	$56.16	$56.16
		ITEM TOTAL:		**$5,072.59**
	1 ea	**ICE MAKER, CUBE-STYLE**	$3,544.49	$3,544.49

Item	Qty	Description	Sell	Sell Total
		Manitowoc Model No. IYT0450A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 30"W x 24"D x 21-1/2"H, production capacity up to 490 lb/24 hours at 70°/50° (378 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410A refrigerant, NSF, cULus, CE, ENERGY STAR®		
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor (Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-161) 115v/60/1-ph, 11.9 amps		
	1 ea	D570 Ice Bin, 30"W x 34"D x 50"H, with side-hinged front-opening door, side grips, 532 lbs. application capacity, AHRI certified 17.9 cu. ft., for top-mounted ice maker, Duratech exterior, NSF	$1,471.94	$1,471.94
	1 ea	WARRANTY-BIN/DISP 3 year parts & labor warranty, standard		
	1 ea	Legs, 6" adjustable stainless steel, standard		
		Freight:	$56.16	$56.16
		ITEM TOTAL:		**$5,072.59**
	1 ea	**ICE MAKER, CUBE-STYLE**	$3,544.49	$3,544.49
		Manitowoc Model No. IYT0450A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 30"W x 24"D x 21-1/2"H, production capacity up to 490 lb/24 hours at 70°/50° (378 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410A refrigerant, NSF, cULus, CE, ENERGY STAR®		
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor (Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-161) 115v/60/1-ph, 11.9 amps		
	1 ea	D570 Ice Bin, 30"W x 34"D x 50"H, with side-hinged front-opening door, side grips, 532 lbs. application capacity, AHRI certified 17.9 cu. ft., for top-mounted ice maker, Duratech exterior, NSF	$1,471.94	$1,471.94
	1 ea	WARRANTY-BIN/DISP 3 year parts & labor warranty, standard		
	1 ea	Legs, 6" adjustable stainless steel, standard		
		Freight:	$56.16	$56.16
		ITEM TOTAL:		**$5,072.59**
	1 ea	**ICE MAKER, CUBE-STYLE**	$3,544.49	$3,544.49

Item	Qty	Description	Sell	Sell Total
		Manitowoc Model No. IYT0450A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 30"W x 24"D x 21-1/2"H, production capacity up to 490 lb/24 hours at 70°/50° (378 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410A refrigerant, NSF, cULus, CE, ENERGY STAR®		
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor (Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-161) 115v/60/1-ph, 11.9 amps		
	1 ea	D570 Ice Bin, 30"W x 34"D x 50"H, with side-hinged front-opening door, side grips, 532 lbs. application capacity, AHRI certified 17.9 cu. ft., for top-mounted ice maker, Duratech exterior, NSF	$1,471.94	$1,471.94
	1 ea	WARRANTY-BIN/DISP 3 year parts & labor warranty, standard		
	1 ea	Legs, 6" adjustable stainless steel, standard		
		Freight:	$56.16	$56.16
		ITEM TOTAL:		**$5,072.59**
	1 ea	**ICE MAKER, CUBE-STYLE**	$3,544.49	$3,544.49
		Manitowoc Model No. IYT0450A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 30"W x 24"D x 21-1/2"H, production capacity up to 490 lb/24 hours at 70°/50° (378 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410A refrigerant, NSF, cULus, CE, ENERGY STAR®		
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor (Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-161) 115v/60/1-ph, 11.9 amps		
	1 ea	D570 Ice Bin, 30"W x 34"D x 50"H, with side-hinged front-opening door, side grips, 532 lbs. application capacity, AHRI certified 17.9 cu. ft., for top-mounted ice maker, Duratech exterior, NSF	$1,471.94	$1,471.94
	1 ea	WARRANTY-BIN/DISP 3 year parts & labor warranty, standard		
	1 ea	Legs, 6" adjustable stainless steel, standard		
		Freight:	$56.16	$56.16
		ITEM TOTAL:		**$5,072.59**
	1 ea	**ICE MAKER, CUBE-STYLE**	$3,544.49	$3,544.49

Item	Qty	Description	Sell	Sell Total
		Manitowoc Model No. IYT0450A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 30"W x 24"D x 21-1/2"H, production capacity up to 490 lb/24 hours at 70°/50° (378 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410A refrigerant, NSF, cULus, CE, ENERGY STAR®		
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor (Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-161) 115v/60/1-ph, 11.9 amps		
	1 ea	D570 Ice Bin, 30"W x 34"D x 50"H, with side-hinged front-opening door, side grips, 532 lbs. application capacity, AHRI certified 17.9 cu. ft., for top-mounted ice maker, Duratech exterior, NSF	$1,471.94	$1,471.94
	1 ea	WARRANTY-BIN/DISP 3 year parts & labor warranty, standard		
	1 ea	Legs, 6" adjustable stainless steel, standard		
		Freight:	$56.16	$56.16
		ITEM TOTAL:		**$5,072.59**
	1 ea	**ICE MAKER, CUBE-STYLE**	$3,544.49	$3,544.49
		Manitowoc Model No. IYT0450A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 30"W x 24"D x 21-1/2"H, production capacity up to 490 lb/24 hours at 70°/50° (378 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410A refrigerant, NSF, cULus, CE, ENERGY STAR®		
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor (Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-161) 115v/60/1-ph, 11.9 amps		
	1 ea	D570 Ice Bin, 30"W x 34"D x 50"H, with side-hinged front-opening door, side grips, 532 lbs. application capacity, AHRI certified 17.9 cu. ft., for top-mounted ice maker, Duratech exterior, NSF	$1,471.94	$1,471.94
	1 ea	WARRANTY-BIN/DISP 3 year parts & labor warranty, standard		
	1 ea	Legs, 6" adjustable stainless steel, standard		
		Freight:	$56.16	$56.16
		ITEM TOTAL:		**$5,072.59**
	1 ea	**REACH-IN REFRIGERATOR**	$7,342.64	$7,342.64

Item	Qty	Description	Sell	Sell Total
		True Mfg. - General Foodservice Model No. T-49-HC Refrigerator, reach-in, two-section, (2) stainless steel doors, (6) PVC coated adjustable wire shelves, interior lighting, stainless steel front, aluminum sides, aluminum interior with stainless steel floor, 4" castors, R290 Hydrocarbon refrigerant, 1/2 HP, 115v/60/1-ph, 5.4 amps, NEMA 5-15P, cULus, UL EPH Classified, Made in USA, ENERGY STAR®		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
	1 ea	Left door hinged left, right door hinged right standard		
	1 ea	4" stem castors, standard (adds 5" to OA height)		
		Freight:	$78.55	$78.55
		ITEM TOTAL:		**$7,421.19**
	1 ea	**REACH-IN REFRIGERATOR**	$5,520.84	$5,520.84
		True Mfg. - General Foodservice Model No. T-23-HC Refrigerator, reach-in, one-section, (1) solid door, (3) PVC coated adjustable wire shelves, interior lighting, stainless steel door, stainless steel front, aluminum sides, clear coated aluminum interior with stainless steel floor, 4" castors, R290 Hydrocarbon refrigerant, 1/4 HP, 115v/60/1-ph, 2.2 amps, NEMA 5-15P, cULus, UL EPH Classified, CE, Made in USA, ENERGY STAR®		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	NOTE: Commonly stocked model in right and left hinge; verify availability with factory		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
	1 ea	Door hinged right standard		
	1 ea	4" stem castors, standard (adds 5" to OA height)		
		Freight:	$55.97	$55.97
		ITEM TOTAL:		**$5,576.81**
	1 ea	**REACH-IN REFRIGERATOR**	$5,520.84	$5,520.84
		True Mfg. - General Foodservice Model No. T-23-HC Refrigerator, reach-in, one-section, (1) solid door, (3) PVC coated adjustable wire shelves, interior lighting, stainless steel door, stainless steel front, aluminum sides, clear coated aluminum interior with stainless steel floor, 4" castors, R290 Hydrocarbon refrigerant, 1/4 HP, 115v/60/1-ph, 2.2 amps, NEMA 5-15P, cULus, UL EPH Classified, CE,		

Item	Qty	Description	Sell	Sell Total
		Made in USA, ENERGY STAR®		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	NOTE: Commonly stocked model in right and left hinge; verify availability with factory		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
	1 ea	Door hinged right standard		
	1 ea	4" stem castors, standard (adds 5" to OA height)		
		Freight:	$55.97	$55.97
		ITEM TOTAL:		**$5,576.81**
	1 ea	**BACK BAR CABINET, NON-REFRIGERATED**	$2,005.91	$2,005.91
		Perlick Corporation Model No. DB48 Back Bar Dry Storage Cabinet, two-section, 48"W, non-refrigerated, (15.3) cu.ft. internal volume, (2) hinged doors with locks, (3) vinyl-coated shelves per section, stainless steel interior, NSF		
	1 ea	Stainless steel top finish		
	1 ea	End finish: Stainless steel, unfinished, both sides, standard		
	1 ea	Door type, first: solid, stainless steel	$51.14	$51.14
	1 ea	Door hinge location, first: Left		
	1 ea	Door handle, first: full length stainless steel handle, 24"		
	1 ea	Shelving style, first: (3) flat shelves		
	1 ea	Door type, second: solid, stainless steel	$51.14	$51.14
	1 ea	Door hinge location, second: Right		
	1 ea	Door handle, second: full length stainless steel handle, 24"		
	1 ea	Shelving style, second: (3) flat shelves		
	1 st	67061 Casters, 2-7/8", set of (4)	$94.66	$94.66
		Freight:	$50.64	$50.64
		ITEM TOTAL:		**$2,253.49**
	1 ea	**BOTTLE COOLER**	$3,301.16	$3,301.16
		Krowne Model No. BC48-BG Bottle Cooler, flat top, 48"W x 24"D, self-contained refrigeration, (14.5) cases/12oz bottles capacity, (2) sliding lids, (3) adjustable chrome plated divider racks, digital thermostat, includes condensate evaporator, stainless steel interior, black vinyl clad exterior front & sides, R290 Hydrocarbon refrigerant, 1/3 HP, 115v/60/1-ph, 5.5 amps, cord with NEMA 5-15P, NSF7, ETL-Sanitation		
	1 ea	This equipment is intended for the storage & display of non-potentially-hazardous bottle or canned products only.		
	1 ea	1 year parts & labor, 5 year compressor warranty, standard		
	1 ea	Doors standard with no locks		

Item	Qty	Description	Sell	Sell Total
		Freight:	$201.01	$201.01
		ITEM TOTAL:		**$3,502.17**
	1 ea	**BACK BAR CABINET, REFRIGERATED**	$5,302.31	$5,302.31
		Perlick Corporation Model No. BBS84 Refrigerated Back Bar Cabinet, three-section, 84"W, self-contained refrigeration, 24.8 cu.ft. internal volume, digital thermostat, LED interior lighting, front vented, automatic defrost & condensate evaporator, includes floor drain, stainless steel interior, side mount compressor, 1/4 HP, R290 Hydrocarbon refrigerant, NSF, cULus		
	1 ea	WARNING: The materials used in this product may contain chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. For more information go to www.P65Warnings.ca.gov		
	1 ea	120v/60/1-ph, 4.2 amps, NEMA 5-15P		
	1 ea	5 yr. compressor warranty, 1 yr. parts & labor warranty		
	1 ea	Standard refrigerator		
	1 ea	Stainless steel top - no tapping holes		
	1 ea	Condensing unit location: Left		
	1 ea	Condensing unit cover finish: Black vinyl coated		
	1 ea	End finish: Stainless steel, unfinished, both sides, standard		
	1 ea	Door type, first: solid, stainless steel	$51.14	$51.14
	1 ea	Door hinge location, first: Left		
	1 ea	Door handle, first: full length stainless steel handle, 24"		
	1 ea	Shelving style, first: (3) flat shelves		
	1 ea	Door type, second: solid, stainless steel	$51.14	$51.14
	1 ea	Door hinge location, second: Left		
	1 ea	Door handle, second: full length stainless steel handle, 24"		
	1 ea	Shelving style, second: (3) flat shelves		
	1 ea	Door type, third: solid, stainless steel	$51.14	$51.14
	1 ea	Door hinge location, third: Right		
	1 ea	Door handle, third: full length stainless steel handle, 24"		
	1 ea	Shelving style, third: (3) flat shelves		
	1 ea	Crisp White™ LED		
	1 st	57787 Casters (3-3/4"), set of (6)	$112.62	$112.62
		Freight:	$127.90	$127.90
		ITEM TOTAL:		**$5,696.25**
	1 ea	**BACK BAR CABINET, NON-REFRIGERATED**	$1,257.30	$1,257.30
		Perlick Corporation Model No. DB24 Back Bar Dry Storage Cabinet, one-section, 24"W, non-refrigerated, (7.4) cu.ft. internal volume, (1) hinged door with lock, (3) adjustable vinyl-coated shelves, stainless steel interior, NSF		
	1 ea	Stainless steel top finish		
	1 ea	End finish: Stainless steel, unfinished, both sides, standard		
	1 ea	Door type: solid, stainless steel	$51.14	$51.14
	1 ea	Door hinge location: Left		
	1 ea	Door handle: full length stainless steel handle, 24"		

Item	Qty	Description		Sell	Sell Total
	1 ea	Shelving style: (3) flat shelves			
	1 st	57786 Casters, 3-3/4", set of (4)		$76.17	$76.17
			Freight:	$30.54	$30.54
			ITEM TOTAL:		**$1,415.15**
	1 ea	**BACK BAR CABINET, REFRIGERATED**		$5,302.31	$5,302.31
		Perlick Corporation Model No. BBS84 Refrigerated Back Bar Cabinet, three-section, 84"W, self-contained refrigeration, 24.8 cu.ft. internal volume, digital thermostat, LED interior lighting, front vented, automatic defrost & condensate evaporator, includes floor drain, stainless steel interior, side mount compressor, 1/4 HP, R290 Hydrocarbon refrigerant, NSF, cULus			
	1 ea	WARNING: The materials used in this product may contain chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. For more information go to www.P65Warnings.ca.gov			
	1 ea	120v/60/1-ph, 4.2 amps, NEMA 5-15P			
	1 ea	5 yr. compressor warranty, 1 yr. parts & labor warranty			
	1 ea	Standard refrigerator			
	1 ea	Stainless steel top - no tapping holes			
	1 ea	Condensing unit location: Left			
	1 ea	Condensing unit cover finish: Black vinyl coated			
	1 ea	End finish: Stainless steel, unfinished, both sides, standard			
	1 ea	Door type, first: solid, stainless steel		$51.14	$51.14
	1 ea	Door hinge location, first: Left			
	1 ea	Door handle, first: full length stainless steel handle, 24"			
	1 ea	Shelving style, first: (3) flat shelves			
	1 ea	Door type, second: solid, stainless steel		$51.14	$51.14
	1 ea	Door hinge location, second: Left			
	1 ea	Door handle, second: full length stainless steel handle, 24"			
	1 ea	Shelving style, second: (3) flat shelves			
	1 ea	Door type, third: solid, stainless steel		$51.14	$51.14
	1 ea	Door hinge location, third: Right			
	1 ea	Door handle, third: full length stainless steel handle, 24"			
	1 ea	Shelving style, third: (3) flat shelves			
	1 ea	Crisp White™ LED			
	1 st	57787 Casters (3-3/4"), set of (6)		$112.62	$112.62
			Freight:	$127.90	$127.90
			ITEM TOTAL:		**$5,696.25**
	1 ea	**UNDERCOUNTER REFRIGERATOR**		$7,062.58	$7,062.58
		True Mfg. - General Foodservice Model No. TUC-67-HC Deep Undercounter Refrigerator, 33 - 38°F, side mounted self-contained refrigeration, (2) stainless steel doors, (4) PVC coated adjustable wire shelves, stainless steel top & sides, aluminum interior with stainless steel floor, 5" castors, R290 Hydrocarbon refrigerant, 1/10 HP, 115v/60/1-ph, 1.7 amps, NEMA 5-15P, cULus, UL EPH Classified, Made in USA			
	1 ea	NOTE: All True pricing is tentative based on final production date of			

Item	Qty	Description	Sell	Sell Total
		units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
	1 ea	5" Castors, standard		
		Freight:	$75.61	$75.61
		ITEM TOTAL:		**$7,138.19**
	2 ea	**BACK BAR CABINET, NON-REFRIGERATED**	$2,903.36	$5,806.72
		Glastender, Inc. Model No. DS72 Back Bar Dry Storage Cabinet, three-section, 72"W, non-refrigerated, galvanized steel sub-top, (3) solid hinged doors, (2) adjustable shelves per door, galvanized steel interior & back, stainless steel bullet feet, ETL-Sanitation		
	2 ea	NOTE: This is a manufactured to order unit and is NOT returnable		
	2 ea	1 year parts & labor warranty (NOTE: applies to units sold and installed within the US & Canada)		
	2 ea	Door style, first: Stainless steel	$22.23	$44.46
	2 ea	Door hinge location, first: Left		
	2 ea	Door handle, first: Polished stainless steel, standard		
	2 ea	Door style, second: Stainless steel	$22.23	$44.46
	2 ea	Door hinge location, second: Right		
	2 ea	Door handle, second: Polished stainless steel, standard		
	2 ea	Door style, third: Stainless steel	$22.23	$44.46
	2 ea	Door hinge location, third: Right		
	2 ea	Door handle, third: Polished stainless steel, standard		
	2 ea	Stainless steel top	$355.68	$711.36
	2 ea	Left side finish: Black vinyl-clad, standard		
	2 ea	SS-R Right side finish: Stainless steel	$22.23	$44.46
	2 st	C-6X2-7/8 Casters, 2-7/8" (set of six)	$122.85	$245.70
		Freight:	$203.88	$407.76
		ITEM TOTAL:		**$7,349.38**
	1 ea	**REACH-IN FREEZER**	$6,897.59	$6,897.59
		True Mfg. - General Foodservice Model No. T-23F-HC Freezer, reach-in, one-section, -10°F, (1) solid door, (3) PVC coated adjustable wire shelves, interior lighting, stainless steel door, stainless steel front, aluminum sides, clear coated aluminum interior with stainless steel floor, 4" castors, R290 Hydrocarbon refrigerant, 1/2 HP, 115v/60/1-ph, 3.7 amps, NEMA 5-15P, cULus, UL EPH Classified, Made in USA, ENERGY STAR®		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		

Item	Qty	Description	Sell	Sell Total
	1 ea	NOTE: Commonly stocked model in right and left hinge; verify availability with factory		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
	1 ea	Door hinged right standard		
	1 ea	4" stem castors, standard (adds 5" to OA height)		
		Freight:	$57.93	$57.93
		ITEM TOTAL:		**$6,955.52**
	1 ea	**REACH-IN FREEZER**	$6,897.59	$6,897.59
		True Mfg. - General Foodservice Model No. T-23F-HC Freezer, reach-in, one-section, -10°F, (1) solid door, (3) PVC coated adjustable wire shelves, interior lighting, stainless steel door, stainless steel front, aluminum sides, clear coated aluminum interior with stainless steel floor, 4" castors, R290 Hydrocarbon refrigerant, 1/2 HP, 115v/60/1-ph, 3.7 amps, NEMA 5-15P, cULus, UL EPH Classified, Made in USA, ENERGY STAR®		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	NOTE: Commonly stocked model in right and left hinge; verify availability with factory		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
	1 ea	Door hinged right standard		
	1 ea	4" stem castors, standard (adds 5" to OA height)		
		Freight:	$57.93	$57.93
		ITEM TOTAL:		**$6,955.52**
	1 ea	**PIZZA PREPARATION REFRIGERATOR**	$9,166.29	$9,166.29
		True Mfg. - General Foodservice Model No. TPP-AT-60-HC Pizza Prep, 33 - 41°F pan rail, stainless steel cover, 19-1/2"D cutting board, (2) full doors, (4) PVC coated adjustable wire shelves, includes: (8) 1/3 size clear polycarbonate insert pans (top), stainless steel front, top & sides, aluminum interior with stainless steel floor, 5" castors, front breathing, R290 Hydrocarbon refrigerant, 1/4 HP, 115v/60/1-ph, 3.9 amps, NEMA 5-15P, UL EPH Classified, cULus, CE, Made in USA		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	NOTE: Due to ongoing supply chain issues, this model has extended lead times. Please contact your True sales representative for pricing,		

Item	Qty	Description	Sell	Sell Total
		availability, and alternatives.		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
	1 ea	5" Castors, standard		
		Freight:	$80.52	$80.52
		ITEM TOTAL:		**$9,246.81**
	1 ea	**BACK BAR CABINET, NON-REFRIGERATED**	$2,005.91	$2,005.91
		Perlick Corporation Model No. DB48 Back Bar Dry Storage Cabinet, two-section, 48"W, non-refrigerated, (15.3) cu.ft. internal volume, (2) hinged doors with locks, (3) vinyl-coated shelves per section, stainless steel interior, NSF		
	1 ea	Stainless steel top finish		
	1 ea	End finish: Stainless steel, unfinished, both sides, standard		
	1 ea	Door type, first: solid, stainless steel	$51.14	$51.14
	1 ea	Door hinge location, first: Left		
	1 ea	Door handle, first: full length stainless steel handle, 24"		
	1 ea	Shelving style, first: (3) flat shelves		
	1 ea	Door type, second: solid, stainless steel	$51.14	$51.14
	1 ea	Door hinge location, second: Right		
	1 ea	Door handle, second: full length stainless steel handle, 24"		
	1 ea	Shelving style, second: (3) flat shelves		
	1 st	67061 Casters, 2-7/8", set of (4)	$94.66	$94.66
		Freight:	$50.64	$50.64
		ITEM TOTAL:		**$2,253.49**
	1 ea	**REACH-IN REFRIGERATOR**	$5,520.84	$5,520.84
		True Mfg. - General Foodservice Model No. T-23-HC Refrigerator, reach-in, one-section, (1) solid door, (3) PVC coated adjustable wire shelves, interior lighting, stainless steel door, stainless steel front, aluminum sides, clear coated aluminum interior with stainless steel floor, 4" castors, R290 Hydrocarbon refrigerant, 1/4 HP, 115v/60/1-ph, 2.2 amps, NEMA 5-15P, cULus, UL EPH Classified, CE, Made in USA, ENERGY STAR®		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	NOTE: Commonly stocked model in right and left hinge; verify availability with factory		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		

Item	Qty	Description	Sell	Sell Total
	1 ea	Door hinged right standard		
	1 ea	4" stem castors, standard (adds 5" to OA height)		
		Freight:	$55.97	$55.97
		ITEM TOTAL:		**$5,576.81**
	2 ea	**BACK BAR CABINET, REFRIGERATED**	$4,650.00	$9,300.00
		Perlick Corporation Model No. BBS60 Refrigerated Back Bar Cabinet, two-section, 60"W, self-contained refrigeration, 16 cu.ft. internal volume, digital thermostat, LED interior lighting, front vented, automatic defrost & condensate evaporator, includes floor drain, stainless steel interior, side mount compressor, 1/5 HP, R290 Hydrocarbon refrigerant, NSF, cULus		
	2 ea	WARNING: The materials used in this product may contain chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. For more information go to www.P65Warnings.ca.gov		
	2 ea	120v/60/1-ph, 2.5 amps, NEMA 5-15P		
	2 ea	5 yr. compressor warranty, 1 yr. parts & labor warranty		
	2 ea	Standard refrigerator		
	2 ea	Stainless steel top - no tapping holes		
	2 ea	Condensing unit location: Left		
	2 ea	Condensing unit cover finish: Black vinyl coated		
	2 ea	End finish: Stainless steel, unfinished, both sides, standard		
	2 ea	Door type, first: solid, stainless steel	$51.14	$102.28
	2 ea	Door hinge location, first: Left		
	2 ea	Door handle, first: full length stainless steel handle, 24"		
	2 ea	Shelving style, first: (3) flat shelves		
	2 ea	Door type, second: solid, stainless steel	$51.14	$102.28
	2 ea	Door hinge location, second: Right		
	2 ea	Door handle, second: full length stainless steel handle, 24"		
	2 ea	Shelving style, second: (3) flat shelves		
	2 ea	Crisp White™ LED		
	2 st	57786 Casters, 3-3/4", set of (4)	$76.17	$152.34
		Freight:	$88.75	$177.50
		ITEM TOTAL:		**$9,834.40**
	1 ea	**ICE MAKER, CUBE-STYLE**	$3,544.49	$3,544.49
		Manitowoc Model No. IYT0450A Indigo NXT™ Series Ice Maker, cube-style, air-cooled, self-contained condenser, 30"W x 24"D x 21-1/2"H, production capacity up to 490 lb/24 hours at 70°/50° (378 lb AHRI certified at 90°/70°), easyTouch display with 13 different language options, date/time stamp display, automatic reminder/alert icon, one touch asset information, automatic detection of accessories, continuous operating status, programmable production options (time, weight, day or night), one touch cleaning with displayed instructions, Alpha-San anti-microbial protection, acoustical ice sensing probe, self-diagnostic technology, DuraTech™ exterior, half-dice size cubes, R410A refrigerant, NSF, cULus, CE, ENERGY STAR®		
	1 ea	WARRANTY-ICE-SC 3 year parts & labor (Machine), 5 year parts & labor		

Item	Qty	Description	Sell	Sell Total
		(Evaporator), 5 year parts & 3 years labor (Compressor), standard		
	1 ea	(-161) 115v/60/1-ph, 11.9 amps		
	1 ea	D570 Ice Bin, 30"W x 34"D x 50"H, with side-hinged front-opening door, side grips, 532 lbs. application capacity, AHRI certified 17.9 cu. ft., for top-mounted ice maker, Duratech exterior, NSF	$1,471.94	$1,471.94
	1 ea	WARRANTY-BIN/DISP 3 year parts & labor warranty, standard		
	1 ea	Legs, 6" adjustable stainless steel, standard		
		Freight:	$56.16	$56.16
		ITEM TOTAL:		**$5,072.59**
	2 ea	**BACK BAR CABINET, REFRIGERATED**	$5,302.31	$10,604.62
		Perlick Corporation Model No. BBS84 Refrigerated Back Bar Cabinet, three-section, 84"W, self-contained refrigeration, 24.8 cu.ft. internal volume, digital thermostat, LED interior lighting, front vented, automatic defrost & condensate evaporator, includes floor drain, stainless steel interior, side mount compressor, 1/4 HP, R290 Hydrocarbon refrigerant, NSF, cULus		
	2 ea	WARNING: The materials used in this product may contain chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. For more information go to www.P65Warnings.ca.gov		
	2 ea	120v/60/1-ph, 4.2 amps, NEMA 5-15P		
	2 ea	5 yr. compressor warranty, 1 yr. parts & labor warranty		
	2 ea	Standard refrigerator		
	2 ea	Stainless steel top - no tapping holes		
	2 ea	Condensing unit location: Left		
	2 ea	Condensing unit cover finish: Black vinyl coated		
	2 ea	End finish: Stainless steel, unfinished, both sides, standard		
	2 ea	Door type, first: solid, stainless steel	$51.14	$102.28
	2 ea	Door hinge location, first: Left		
	2 ea	Door handle, first: full length stainless steel handle, 24"		
	2 ea	Shelving style, first: (3) flat shelves		
	2 ea	Door type, second: solid, stainless steel	$51.14	$102.28
	2 ea	Door hinge location, second: Left		
	2 ea	Door handle, second: full length stainless steel handle, 24"		
	2 ea	Shelving style, second: (3) flat shelves		
	2 ea	Door type, third: solid, stainless steel	$51.14	$102.28
	2 ea	Door hinge location, third: Right		
	2 ea	Door handle, third: full length stainless steel handle, 24"		
	2 ea	Shelving style, third: (3) flat shelves		
	2 ea	Crisp White™ LED		
	2 st	57787 Casters (3-3/4"), set of (6)	$112.62	$225.24
		Freight:	$127.90	$255.80
		ITEM TOTAL:		**$11,392.50**
	1 ea	**BOTTLE COOLER**	$3,705.52	$3,705.52

Item	Qty	Description	Sell	Sell Total
		Perlick Corporation Model No. BC72WT-3 Bottle Cooler, flat top, 72” W, self-contained refrigeration, (20.3) cu. ft. interior capacity, digital temperature control & display, 50°F factory temperature setting, (2) dent-resist and stainless steel doors with lock & die-cast handles, automatic condensate evaporator, stainless steel top & interior, R290 Hydrocarbon refrigerant, 1/4 HP, 120v/60/1-ph, 4.4 amps, NEMA 5-15P, NSF, cULus		
	1 ea	WARNING: The materials used in this product may contain chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. For more information go to www.P65Warnings.ca.gov		
	1 ea	5 yr. compressor warranty, 1 yr. parts & labor warranty		
	1 ea	All stainless steel	$985.82	$985.82
	1 ea	(4) bin dividers with supporting brackets	$76.17	$76.17
	1 st	67062 Casters, 2-7/8", set of (6)	$133.29	$133.29
		Freight:	$250.00	$250.00
		ITEM TOTAL:		**$5,150.80**
	1 ea	**REACH-IN REFRIGERATOR**	$5,520.84	$5,520.84
		True Mfg. - General Foodservice Model No. T-23-HC Refrigerator, reach-in, one-section, (1) solid door, (3) PVC coated adjustable wire shelves, interior lighting, stainless steel door, stainless steel front, aluminum sides, clear coated aluminum interior with stainless steel floor, 4" castors, R290 Hydrocarbon refrigerant, 1/4 HP, 115v/60/1-ph, 2.2 amps, NEMA 5-15P, cULus, UL EPH Classified, CE, Made in USA, ENERGY STAR®		
	1 ea	NOTE: All True pricing is tentative based on final production date of units ordered. Any units ordered that will be produced on or after July 1, 2022 may include escalators above Jan22 pricing. Please contact your True representative for final lead times.		
	1 ea	NOTE: Commonly stocked model in right and left hinge; verify availability with factory		
	1 ea	Self-contained refrigeration standard		
	1 ea	Warranty - 7 year compressor (self-contained only), please visit www.Truemfg.com for specifics		
	1 ea	Warranty - 3 year parts and labor, please visit www.Truemfg.com for specifics		
	1 ea	Door hinged right standard		
	1 ea	4" stem castors, standard (adds 5" to OA height)		
		Freight:	$55.97	$55.97
		ITEM TOTAL:		**$5,576.81**
		SUBTOTAL		$170,167.15
		PHASE 4-BEER SYSTEM UPGRADE		
	1 ea	**AIR-COOLED POWER PAK**	$3,308.91	$3,308.91

Item	Qty	Description	Sell	Sell Total
		Perlick Corporation Model No. 4404 Draft Beer System Power Pak, air-cooled, 24-1/4"W x 17-1/4"D x 25-1/2"H, (1) 100 gph circulating pump, 1.75 gallon capacity glycol bath, constant pressure expansion valve, adjustable electronic temperature control with digital readout, stainless steel cabinet, R134a, 1/3 HP, 120v/60/1-ph, 15.1 amps, cULus, NSF		
	1 ea	CUSTOM Install of Draft Beer Power Pack and upgrade of Beer system	$13,000.00	$13,000.00
		Freight:	$36.54	$36.54
		ITEM TOTAL:		**$16,345.45**
	1 ea	**AIR-COOLED POWER PAK**	$3,308.91	$3,308.91
		Perlick Corporation Model No. 4404 Draft Beer System Power Pak, air-cooled, 24-1/4"W x 17-1/4"D x 25-1/2"H, (1) 100 gph circulating pump, 1.75 gallon capacity glycol bath, constant pressure expansion valve, adjustable electronic temperature control with digital readout, stainless steel cabinet, R134a, 1/3 HP, 120v/60/1-ph, 15.1 amps, cULus, NSF		
	1 ea	CUSTOM Install of Draft Beer Power Pack and upgrade of Beer system	$13,000.00	$13,000.00
		Freight:	$36.54	$36.54
		ITEM TOTAL:		**$16,345.45**
	1 ea	**AIR-COOLED POWER PAK**	$3,308.91	$3,308.91
		Perlick Corporation Model No. 4404 Draft Beer System Power Pak, air-cooled, 24-1/4"W x 17-1/4"D x 25-1/2"H, (1) 100 gph circulating pump, 1.75 gallon capacity glycol bath, constant pressure expansion valve, adjustable electronic temperature control with digital readout, stainless steel cabinet, R134a, 1/3 HP, 120v/60/1-ph, 15.1 amps, cULus, NSF		
	1 ea	CUSTOM Install of Draft Beer Power Pack and upgrade of Beer system	$13,000.00	$13,000.00
		Freight:	$36.54	$36.54
		ITEM TOTAL:		**$16,345.45**
	1 ea	**AIR-COOLED POWER PAK**	$3,308.91	$3,308.91
		Perlick Corporation Model No. 4404 Draft Beer System Power Pak, air-cooled, 24-1/4"W x 17-1/4"D x 25-1/2"H, (1) 100 gph circulating pump, 1.75 gallon capacity glycol bath, constant pressure expansion valve, adjustable electronic temperature control with digital readout, stainless steel cabinet, R134a, 1/3 HP, 120v/60/1-ph, 15.1 amps, cULus, NSF		
	1 ea	CUSTOM Install of Draft Beer Power Pack and upgrade of Beer system	$13,000.00	$13,000.00
		Freight:	$36.54	$36.54
		ITEM TOTAL:		**$16,345.45**
	1 ea	**KEG COOLER S/N 472393**		<Existing>
		Perlick Corporation Model No. US10KP Keg Cooler- Good Condition		
		SUBTOTAL		$65,381.80
		PHASE 5-COOKING EQUIPMENT TO BE BUDGETED FOR REPLACEMENT		
	1 ea	**GAS FRYER, BATTERY**	$22,077.90	$22,077.90

Item	Qty	Description	Sell	Sell Total
		Dean Industries Model No. 2FPRG50T PowerRunner™ Fryer, gas, floor model, (2) 50 lb. capacity each, built-in filtration, thermo tube-type design, temperature probe, millivolt control system, includes: filter starter kit, drain safety switch, 4 GPM pump, stainless steel frypots, doors, & cabinets, (2) 120,000 BTU, cCSAus, NSF		
	1 ea	Note: Prices listed are for within the USA only. Please contact the factory for pricing if quoting outside of the USA		
	1 ea	FRYPOT warranty - 1st year: parts and labor, 2nd - 10th years: parts only, standard		
	1 ea	Natural gas (specify elevation if over 2,000 ft.)		
	2 ea	THERMATRON Controller	$283.14	$566.28
	1 ea	120v/60/1-ph, 8.0 amps, filter		
	2 ea	1061637 Frypot Cover, 15" W x 21-3/8" D, for frypots without basket lifts (SR42, SR52)	$205.63	$411.26
	1 ea	Fryer: Casters, standard		
	1 ea	Right side, 1" Rear gas manifold without shut-off valve (fryer with filter), standard		
	1 ea	Start-Up Program, for first frypot (when purchased without filtration) (Contact Authorized Service Agent at least 48 hours in advance) (net)	$291.20	$291.20
	1 ea	Start-Up Program includes gas pressure check, boil out of all frypots, gas plumbing size, wiring inspection, proper basket lift operation, cleaning of all frypots with damp rag/paper towels, controller check & programming demonstration, inspection of vent hood & demonstration of the proper use & care of the filter sys (if all is applicable)		
		Freight:	$94.55	$94.55
		ITEM TOTAL:		**$23,441.19**
	1 ea	**GAS FRYER, BATTERY**	$22,077.90	$22,077.90
		Dean Industries Model No. 2FPRG50T PowerRunner™ Fryer, gas, floor model, (2) 50 lb. capacity each, built-in filtration, thermo tube-type design, temperature probe, millivolt control system, includes: filter starter kit, drain safety switch, 4 GPM pump, stainless steel frypots, doors, & cabinets, (2) 120,000 BTU, cCSAus, NSF		
	1 ea	Note: Prices listed are for within the USA only. Please contact the factory for pricing if quoting outside of the USA		
	1 ea	FRYPOT warranty - 1st year: parts and labor, 2nd - 10th years: parts only, standard		
	1 ea	Natural gas (specify elevation if over 2,000 ft.)		
	2 ea	THERMATRON Controller	$283.14	$566.28
	1 ea	120v/60/1-ph, 8.0 amps, filter		
	2 ea	1061637 Frypot Cover, 15" W x 21-3/8" D, for frypots without basket lifts (SR42, SR52)	$205.63	$411.26
	1 ea	Fryer: Casters, standard		
	1 ea	Right side, 1" Rear gas manifold without shut-off valve (fryer with filter), standard		
	1 ea	Start-Up Program, for first frypot (when purchased without filtration) (Contact Authorized Service Agent at least 48 hours in advance) (net)	$291.20	$291.20

Item	Qty	Description	Sell	Sell Total
	1 ea	Start-Up Program includes gas pressure check, boil out of all frypots, gas plumbing size, wiring inspection, proper basket lift operation, cleaning of all frypots with damp rag/paper towels, controller check & programming demonstration, inspection of vent hood & demonstration of the proper use & care of the filter sys (if all is applicable)		
		Freight:	$94.55	$94.55
		ITEM TOTAL:		**$23,441.19**
	2 ea	**CONVEYOR OVEN, ELECTRIC**	$12,853.94	$25,707.88
		Lincoln Foodservice Model No. 1132-000-U Lincoln Impinger® II Express Conveyor Pizza Oven, electric, front loading, single-deck, single conveyor belt, glass access window, FastBake™ technology optional, NSF, UL, CSA, 208v/60/3, 28.0 amps, 10.0 kW		
	2 ea	1 yr. standard warranty, per oven		
	2 ea	Each Impinger II Oven includes a start-up checkout performed by factory trained authorized service agent		
	2 ea	NOTE: This oven does not ship with a cordset, it must be ordered or otherwise provided		
	2 ea	NOTE: New Oven Installations require an appropriate stand to be included with the order		
	1 ea	1124-1 Low Stand, with casters for triple-stack Impinger II Express ovens	$1,128.73	$1,128.73
	2 ea	1140 Take-Off Shelf, straight (fits either side), 12" length (for Lincoln Impinger® II Ovens)	$181.73	$363.46
	2 ea	1141 Take-Off Shelf, 7° decline (fits either side), 12" length (for Lincoln Impinger® II Ovens)	$181.73	$363.46
	2 ea	1139 Impinger II Express Cord Set, for #1132-000-U & 1133-000-U, 3-phase, NEMA L21-30P	$410.70	$821.40
		Freight:	$250.00	$500.00
		ITEM TOTAL:		**$28,884.93**
	1 ea	**GRIDDLE, GAS, COUNTERTOP**	$5,531.18	$5,531.18
		Garland/US Range Model No. GTGG48-GT48M Griddle, countertop, gas, heavy-duty, 47-1/4" W x 23" D cooking surface, 1" thick smooth steel griddle plate, snap action thermostatic controls, piezo pilot igniters, 4" deep front grease trough, stainless steel front, sides and back, 4" adjustable feet, 112,000 BTU (Garland), NSF, CSA Star, CSA Flame		
	1 ea	One year limited parts and labor warranty, covers products purchased and installed in the USA only, standard		
	1 ea	Natural gas, specify elevation if over 2,000 ft		
		Freight:	$129.24	$129.24
		ITEM TOTAL:		**$5,660.42**
	2 ea	**CONVECTION OVEN, GAS**	$18,363.02	$36,726.04

Item	Qty	Description	Sell	Sell Total
		Hobart Model No. HGC502-NATURAL Convection Oven, Natural Gas, Full-size, double-deck, 60 minute timers, solid state controls - 500°F, 2-spd motors, porcelain interior, (5) racks each, simultaneous doors with glass, stainless steel front, sides & top, 8" stainless steel legs, 120/60/1, 1/2hp, 50,000BTU each sea level - 2000'		
	2 ea	Standard warranty - 1-Year parts, labor & travel time during normal working hours		
	2 ea	Must specify altitude when ordering		
	2 ea	DRSCWW Simultaneous opening doors with windows, standard		
	2 ea	NOTE: Double deck ovens are supplied as separate units with a stacking kit		
	2 ea	CSTSET-8IN Set of four 8" casters (front swivel with brakes & two rear rigid)	$808.22	$1,616.44
		Freight:	$156.25	$312.50
		ITEM TOTAL:		**$38,654.98**
		SUBTOTAL		$120,082.71
		PHASE 6-CONCESSION WARMING EQUIPMENT SHOULD BE BUDGETED FOR REPLACEMENT		
	1 ea	**POPCORN POPPER**	$1,501.50	$1,501.50
		Gold Medal Products Model No. 2003ST Whiz Bang Popcorn Machine, electric, countertop, 12 oz. Unimaxx® kettle, aluminum twin hanger arms, stainless steel dome, LED sign, 1510 watts, 120v/60/1-ph, NEMA 5-15P, UL, NSF		
	1 ea	All information & pricing is subject to change without notice; contact Gold Medal Products Co. for the most up-to-date pricing and information.		
	1 ea	2 year parts & 6 months labor warranty, standard (contact factory for more information)		
		Freight:	$37.78	$37.78
		ITEM TOTAL:		**$1,539.28**
	1 ea	**POPCORN POPPER**	$1,501.50	$1,501.50
		Gold Medal Products Model No. 2003ST Whiz Bang Popcorn Machine, electric, countertop, 12 oz. Unimaxx® kettle, aluminum twin hanger arms, stainless steel dome, LED sign, 1510 watts, 120v/60/1-ph, NEMA 5-15P, UL, NSF		
	1 ea	All information & pricing is subject to change without notice; contact Gold Medal Products Co. for the most up-to-date pricing and information.		
	1 ea	2 year parts & 6 months labor warranty, standard (contact factory for more information)		
		Freight:	$37.78	$37.78
		ITEM TOTAL:		**$1,539.28**
	1 ea	**HOT DOG GRILL**	$2,189.56	$2,189.56

Item	Qty	Description	Sell	Sell Total
		APW Wyott Model No. HRS-31 X*PERT™ HotRod® Hot Dog Grill, (11) Tru-Turn rollers, infinite controls, removable grease pan, stainless steel exterior, coated steel bottom, UL, CSA, NSF, CE		
	1 ea	1 year parts & labor warranty, standard		
	1 ea	208/240v/60/1-ph, 884/1160 watts, 5.6/6.5 amps, NEMA 6-15P		
		Freight:	$9.05	$9.05
		ITEM TOTAL:		**$2,198.61**
	1 ea	**WARMING DRAWER, FREE STANDING**	$2,611.05	$2,611.05
		Hatco Model No. HDW-2-120-QS (QUICK SHIP MODEL) Warming Drawer Unit, Free Standing, two drawers, includes (1) standard 6" food pan per drawer, stainless steel construction, thermostatic controls, 4" legs, 900 watts, 120v/60/1-ph, NSF, cULus, Made in USA		
	1 ea	NOTE: Sale of this product must comply with Hatco's Minimum Resale Price Policy; consult order acknowledgement for details		
	1 ea	NOTE: Includes 24/7 parts & service assistance, call 800-558-0607		
	1 ea	2-Yr Warranty on drawer warmer heating elements against burnout, standard		
	1 ea	2-Yr Warranty on drawer slides & rollers against breakage, standard		
		APW is no longer made		
		Freight:	$37.36	$37.36
		ITEM TOTAL:		**$2,648.41**
	2 ea	**WARMING DRAWER, FREE STANDING**	$2,611.05	$5,222.10
		Hatco Model No. HDW-2-120-QS (QUICK SHIP MODEL) Warming Drawer Unit, Free Standing, two drawers, includes (1) standard 6" food pan per drawer, stainless steel construction, thermostatic controls, 4" legs, 900 watts, 120v/60/1-ph, NSF, cULus, Made in USA		
	1 ea	NOTE: Sale of this product must comply with Hatco's Minimum Resale Price Policy; consult order acknowledgement for details		
	1 ea	NOTE: Includes 24/7 parts & service assistance, call 800-558-0607		
	2 ea	2-Yr Warranty on drawer warmer heating elements against burnout, standard		
	2 ea	2-Yr Warranty on drawer slides & rollers against breakage, standard		
		APW is no longer made		
		Freight:	$37.36	$74.72
		ITEM TOTAL:		**$5,296.82**
		POPCORN MACHINE (GOLD METAL) Popcorn Machine (Gold Metal) model # 2003-ST S/N RWU-SU-2384 recently purchased		
	1 ea	**HOT DOG GRILL**	$2,783.50	$2,783.50
		APW Wyott Model No. HRS-45 X*PERT™ HotRod® Hot Dog Grill, Tru-Turn rollers, infinite controls, removable grease pan, stainless steel exterior, coated steel bottom, UL, CSA, NSF, CE		

Item	Qty	Description	Sell	Sell Total
	1 ea	1 year parts & labor warranty, standard		
	1 ea	(2) 120v/60/1-ph, 1465 watts, 12.1 amps, NEMA 5-15P, standard		
		Freight:	$9.46	$9.46
		ITEM TOTAL:		**$2,792.96**
	1 ea	**MOBILE HEATED CABINET**	$2,975.21	$2,975.21
		Metro Model No. C519-HFC-4 C5™ 1 Series Heated Holding Cabinet, mobile, full height, non-insulated, clear polycarbonate door, removable bottom mount control module, thermostat to 190°F, fixed wire slides on 3" centers (18) 18" x 26" or (34) 12" x 20" x 2-1/2" pan capacity, 5" casters (2 with brakes), aluminum, 120v/60/1-ph, 2000 watts, 16 amps, NEMA 5-20P, cULus, NSF		
	1 ea	1 year warranty against manufacturing defects		
		Freight:	$155.88	$155.88
		ITEM TOTAL:		**$3,131.09**
	2 ea	**DISPLAY MERCHANDISER, HEATED, FOR MULTI-PRODUCT**	$4,717.25	$9,434.50
		APW Wyott Model No. DMXD-30S Racer™ Slanted Open Air Heated Merchandiser, countertop, 30", (2) shelves, thermostatically controlled, tempered glass end panels, incandescent lights, aluminum & stainless steel base, sides, & top, 4" polycarbonate & steel legs, cULus, UL		
	2 ea	1 year parts & labor warranty, standard		
	2 ea	120v/60/1-ph, 1380 watts, 11.5 amps, NEMA 5-15P, standard		
		Freight:	$37.21	$74.42
		ITEM TOTAL:		**$9,508.92**
	2 ea	**DISPLAY MERCHANDISER, HEATED, FOR MULTI-PRODUCT**	$4,982.45	$9,964.90
		APW Wyott Model No. DMXD-30H Racer™ Horizontal Open Air Heated Merchandiser, countertop, 30", (2) shelves, thermostatically controlled, tempered glass end panels, incandescent lights, aluminum & stainless steel base, sides, & top, 4" polycarbonate & steel legs, cULus, UL		
	2 ea	1 year parts & labor warranty, standard		
	2 ea	120v/60/1-ph, 1380 watts, 11.5 amps, NEMA 5-15P, standard		
		Freight:	$36.18	$72.36
		ITEM TOTAL:		**$10,037.26**
	4 ea	**WARMING DRAWER, FREE STANDING**	$2,611.05	$10,444.20
		Hatco Model No. HDW-2-120-QS (QUICK SHIP MODEL) Warming Drawer Unit, Free Standing, two drawers, includes (1) standard 6" food pan per drawer, stainless steel construction, thermostatic controls, 4" legs, 900 watts, 120v/60/1-ph, NSF, cULus, Made in USA		
	1 ea	NOTE: Sale of this product must comply with Hatco's Minimum Resale Price Policy; consult order acknowledgement for details		
	1 ea	NOTE: Includes 24/7 parts & service assistance, call 800-558-0607		
	4 ea	2-Yr Warranty on drawer warmer heating elements against burnout, standard		
	4 ea	2-Yr Warranty on drawer slides & rollers against breakage, standard		
		APW warmer no longer made.		

Item	Qty	Description	Sell	Sell Total
		Freight:	$37.36	$149.44
		ITEM TOTAL:		**$10,593.64**
	1 ea	**REFRIGERATED MERCHANDISER**	$3,650.40	$3,650.40
		Serv-Ware Model No. GR48S-HC Refrigerated Merchandiser, two-section, 54"W x 30-3/4"D x 79-1/2"H, 48 cu. ft. capacity, (2) sliding double-pane glass doors, (8) adjustable epoxy coated shelves, electronic thermostat, LED digital display, temperatures between 33°F & 41°F, illuminated top panel, white powder-coated steel interior & exterior, LED interior lighting, casters, bottom mounted self-contained refrigeration, HC refrigerant, UL EPH Classified, cULus Classified, CE		
	1 ea	2 year parts & labor warranty, 3 year additional compressor warranty (parts only), valid in the United States, standard		
	1 ea	115v/60/1-ph, 1/2 HP, 7.0 amps, cord with NEMA 5-15P, standard		
		Freight:	$349.73	$349.73
		ITEM TOTAL:		**$4,000.13**
	1 ea	**POPCORN POPPER**	$7,343.70	$7,343.70
		Gold Medal Products Model No. 2011-071 Pop-O-Gold 32 oz. Popcorn Machine, electric, floor model, bag-in-box oil system, pre-wired for an oil pump		
	1 ea	All information & pricing is subject to change without notice; contact Gold Medal Products Co. for the most up-to-date pricing and information.		
	1 ea	2 year parts & 6 months labor warranty, standard (contact factory for more information)		
	1 ea	120/208v/60/1-ph, 5752 watts, NEMA L14-30P, standard		
		Freight:	$162.34	$162.34
		ITEM TOTAL:		**$7,506.04**
	1 ea	**POPCORN POPPER PARTS & ACCESSORIES**	$887.25	$887.25
		Gold Medal Products Model No. 2257-00-010 Bag-In-A-Box, oil dispense unit, load cell sensor for detecting oil level, no teach timer—unit is controlled by the popper (popper control must have a timer function) for use with -600 Series PopClean Popper		
	1 ea	All information & pricing is subject to change without notice; contact Gold Medal Products Co. for the most up-to-date pricing and information.		
		ITEM TOTAL:		**$887.25**
	1 ea	**WARMING DRAWER, FREE STANDING**	$2,611.05	$2,611.05
		Hatco Model No. HDW-2-120-QS (QUICK SHIP MODEL) Warming Drawer Unit, Free Standing, two drawers, includes (1) standard 6" food pan per drawer, stainless steel construction, thermostatic controls, 4" legs, 900 watts, 120v/60/1-ph, NSF, cULus, Made in USA		
	1 ea	NOTE: Sale of this product must comply with Hatco's Minimum Resale		

Item	Qty	Description	Sell	Sell Total
		Price Policy; consult order acknowledgement for details		
	1 ea	NOTE: Includes 24/7 parts & service assistance, call 800-558-0607		
	1 ea	2-Yr Warranty on drawer warmer heating elements against burnout, standard		
	1 ea	2-Yr Warranty on drawer slides & rollers against breakage, standard		
		APW warmer no longer made.		
		Freight:	$37.36	$37.36
		ITEM TOTAL:		**$2,648.41**
	1 ea	**HOT FOOD WELL UNIT, DROP-IN, ELECTRIC**	$3,573.02	$3,573.02
		APW Wyott Model No. HFW-4DS Hot Food Well Unit, drop-in, electric, (4) 12" x 20" wells, wet or dry operation, infinite controls, EZ lock, insulated, with drain, stainless steel wells, UL, NSF		
	1 ea	1 year parts & labor warranty, standard		
	1 ea	208v/60/3-ph, 900 watts, standard		
		Freight:	$19.53	$19.53
		ITEM TOTAL:		**$3,592.55**
	1 ea	**HEATED CABINET, HALF-HEIGHT**	$3,490.42	$3,490.42
		FWE / Food Warming Equipment Co., Inc. Model No. UHS-4 Heated Cabinet, mobile, undercounter, (4) universal tray slides, (4) 18" x 26" or (8) 12" x 20" pan capacity, 4-1/2" OC, adjustable on 1-1/2" increments, Humi-temp heat & humidity system, adjustable thermostat, individual controls, insulated, removable humidifier pan, (1) flush mounted door, edgemount door latch, flush in-wall hand grips, stainless steel interior & exterior, (4) 3.5" swivel casters with brakes, NSF, CE, cULus, UL, IPX4		
	1 ea	Two year limited parts & one year labor warranty, standard		
	1 ea	120v/50/60/1-ph, 11.0 amps, 1315 watts, NEMA 5-15P, standard (US)		
	1 ea	Manual Control, standard		
		Freight:	$133.46	$133.46
		ITEM TOTAL:		**$3,623.88**
	1 ea	**COTTON CANDY MACHINE & DISPLAY**	$1,683.50	$1,683.50
		Gold Medal Products Model No. 3005SS Tornado® Cotton Candy Machine, stainless steel, up to 6-7 servings per minute, toggle switches, (2) 7" stacked ribbon heat elements, 1/3 hp motor with sealed ball bearings, voltage boost transformer, volt meter, stainless steel cabinet, 120v/60/1-ph, 2400 watts, NEMA 5-30P , UL		
	1 ea	All information & pricing is subject to change without notice; contact Gold Medal Products Co. for the most up-to-date pricing and information.		
		Freight:	$29.95	$29.95
		ITEM TOTAL:		**$1,713.45**
	1 ea	**SHAVED ICE MACHINE**	$2,725.45	$2,725.45

Item	Qty	Description	Sell	Sell Total
		Gold Medal Products Model No. 1020-00-100 Shavatron Ice Shaver Snow Cone Machine, automatic feed, (3) blade shaver head, large ice hopper with easy load opening & lid safety switch, stainless steel dome with illuminated sign, quiet, geared belt drive system, 1/2 HP 970 watts, 120v/60/1-ph, NEMA 5-15P, cULus, UL EPH Classified		
	1 ea	All information & pricing is subject to change without notice; contact Gold Medal Products Co. for the most up-to-date pricing and information.		
		Freight:	$49.69	$49.69
		ITEM TOTAL:		**$2,775.14**
	4 ea	**WARMING DRAWER, FREE STANDING**	$2,611.05	$10,444.20
		Hatco Model No. HDW-2-120-QS (QUICK SHIP MODEL) Warming Drawer Unit, Free Standing, two drawers, includes (1) standard 6" food pan per drawer, stainless steel construction, thermostatic controls, 4" legs, 900 watts, 120v/60/1-ph, NSF, cULus, Made in USA		
	1 ea	NOTE: Sale of this product must comply with Hatco's Minimum Resale Price Policy; consult order acknowledgement for details		
	1 ea	NOTE: Includes 24/7 parts & service assistance, call 800-558-0607		
	4 ea	2-Yr Warranty on drawer warmer heating elements against burnout, standard		
	4 ea	2-Yr Warranty on drawer slides & rollers against breakage, standard		
		APW warmer no longer made.		
		Freight:	$37.36	$149.44
		ITEM TOTAL:		**$10,593.64**
	1 ea	**DISPLAY MERCHANDISER, HEATED, FOR MULTI-PRODUCT**	$4,717.25	$4,717.25
		APW Wyott Model No. DMXD-30S Racer™ Slanted Open Air Heated Merchandiser, countertop, 30", (2) shelves, thermostatically controlled, tempered glass end panels, incandescent lights, aluminum & stainless steel base, sides, & top, 4" polycarbonate & steel legs, cULus, UL		
	1 ea	1 year parts & labor warranty, standard		
	1 ea	120v/60/1-ph, 1380 watts, 11.5 amps, NEMA 5-15P, standard		
		Freight:	$37.21	$37.21
		ITEM TOTAL:		**$4,754.46**
	1 ea	**HOT DOG GRILL**	$2,247.57	$2,247.57
		APW Wyott Model No. HR-50 X*PERT™ HotRod® Hot Dog Grill, (11) chrome surface rollers, infinite controls, removable grease pan, stainless steel exterior, coated steel bottom, UL, CSA, NSF, CE		
	1 ea	1 year parts & labor warranty, standard		
	1 ea	120v/60/1-ph, 1320 watts, 10.8 amps, NEMA 5-15P, standard		
		Freight:	$11.31	$11.31
		ITEM TOTAL:		**$2,258.88**
	2 ea	**WARMING DRAWER, FREE STANDING**	$2,611.05	$5,222.10

Item	Qty	Description	Sell	Sell Total
		Hatco Model No. HDW-2-120-QS (QUICK SHIP MODEL) Warming Drawer Unit, Free Standing, two drawers, includes (1) standard 6" food pan per drawer, stainless steel construction, thermostatic controls, 4" legs, 900 watts, 120v/60/1-ph, NSF, cULus, Made in USA		
	1 ea	NOTE: Sale of this product must comply with Hatco's Minimum Resale Price Policy; consult order acknowledgement for details		
	1 ea	NOTE: Includes 24/7 parts & service assistance, call 800-558-0607		
	2 ea	2-Yr Warranty on drawer warmer heating elements against burnout, standard		
	2 ea	2-Yr Warranty on drawer slides & rollers against breakage, standard		
		APW warmer no longer made.		
		Freight:	$37.36	$74.72
		ITEM TOTAL:		**$5,296.82**
	2 ea	**FOOD PAN WARMER, COUNTERTOP**	$341.64	$683.28
		Nemco Food Equipment Model No. 6055A Countertop Warmer, wet operation, accepts 12" x 20" full size pan or fractional size pans, adjustable thermostat, cycling indicator pilot light, stainless steel construction, 1200 watts, NEMA 5-15P, 120v/60/1ph, 10 amps, cETLus, NSF		
	2 ea	1 year parts & labor warranty, standard		
		Freight:	$18.75	$37.50
		ITEM TOTAL:		**$720.78**
	1 ea	**HOT DOG GRILL**	$2,189.56	$2,189.56
		APW Wyott Model No. HRS-31 X*PERT™ HotRod® Hot Dog Grill, (11) Tru-Turn rollers, infinite controls, removable grease pan, stainless steel exterior, coated steel bottom, UL, CSA, NSF, CE		
	1 ea	1 year parts & labor warranty, standard		
	1 ea	120v/60/1-ph, 975 watts, 8.1 amps, NEMA 5-15P, standard		
		Freight:	$9.05	$9.05
		ITEM TOTAL:		**$2,198.61**
	1 ea	**DISPLAY MERCHANDISER, HEATED, FOR MULTI-PRODUCT**	$4,717.25	$4,717.25
		APW Wyott Model No. DMXD-30S Racer™ Slanted Open Air Heated Merchandiser, countertop, 30", (2) shelves, thermostatically controlled, tempered glass end panels, incandescent lights, aluminum & stainless steel base, sides, & top, 4" polycarbonate & steel legs, cULus, UL		
	1 ea	1 year parts & labor warranty, standard		
	1 ea	120v/60/1-ph, 1380 watts, 11.5 amps, NEMA 5-15P, standard		
		Freight:	$37.21	$37.21
		ITEM TOTAL:		**$4,754.46**
		POPCORN MACHINE (GOLD METAL) Popcorn Machine (Gold Metal) model # 2003-ST S/N RWU-SU-2374 recently purchased		
		SUBTOTAL		$106,610.77

Total $733,301.88

Standard Contract Terms & Conditions

All quotations are subject to approval by the company. The above listed prices shall be firm for 30 days. Prices shown in this quotation are for specific items, quantities, and lead times indicated.

Prices are subject to change if all of the items are not ordered, if quantities ordered differ, or if adequate lead-time is not allowed.

The prices shown in this quotation DO/DO NOT include freight charges which will be added to our invoice. This quotation does not include any fees for local permits or licenses that may be required by your municipality or state.

The prices shown in this quotation DO/DO NOT include applicable taxes, which will be added to our invoice unless a valid certificate of exemption is provided by you. Please be advised that, under state law, some items may still be taxable. In states where TriMark Hockenbergs is not registered to collect Sales Tax, it is the buyer's responsibility to pay any applicable Use Tax due to the state.

Payment terms are 50% due at time of order, 45% due prior to delivery and 5% due based on customer terms. We impose a surcharge on credit cards that is not greater than our cost of acceptance. Please be advised that a 1.5% per month FINANCE CHARGE will begin to accrue upon expiration of the above payment terms. This will amount to 18% annually.

It is our understanding that you are requesting delivery of the items on this order during the week of {T.B.D.} if this date is not correct or is missing, please provide us with a scheduled delivery date _____. If an alternative date is not provided, the date specified above is considered confirmed. In the event that the delivery date is delayed by you, or any party other than TriMark Hockenbergs, for more than two (2) weeks from the agreed upon date, you hereby agree that TriMark Hockenbergs will bill you for "stored materials".

You also agree that any payments originally due "upon delivery" will become immediately due and payable. For valuable consideration, receipt of which is hereby acknowledged, you hereby grant to TriMark Hockenbergs a security interest in the equipment described herein and any and all additions and accessories thereto, to secure payment of the total debt and any and all other obligations to TriMark Hockenbergs under this agreement. The security interest created hereby shall terminate when obligations have been paid in full.

You hereby authorize TriMark Hockenbergs to file any UCC financing statement that it deems necessary to perfect its security interest.

On capital purchases, we require a perfected security interest in the goods until they have been paid for in full. TriMark Hockenbergs will handle all of the necessary U.C.C. filings and pay for any costs associated with these filings. Upon failure of you to promptly pay or perform any of the obligations or any covenants contained or referred to herein, TriMark Hockenbergs may, at its option, declare all of the obligations immediately due and payable and then shall have all of the remedies of a secured party under the Uniform Commercial Code of the state where the equipment is located. Such remedies shall include, but are not limited to, the right to take possession of the equipment. Expenses related to repossessing, holding, repairing, or reselling the equipment, including any collection costs, reasonable attorney's fees and legal expenses, shall be the responsibility of the buyer.

No warranty of merchantability or fitness for a particular purpose, or other warranty, express, implied or statutory, nor any affirmation of fact or promise is made by Seller with respect to the goods which are sold pursuant hereto.

TRIMARK HOCKENBERGS SHALL NOT BE LIABLE FOR INCIDENTAL OR CONSEQUENTIAL LOSSES, DAMAGES OR EXPENSES, DIRECTLY OR INDIRECTLY ARISING FROM THE SALE, HANDLING OR USE OF THE GOODS, OR FROM ANY OTHER CAUSE RELATING THERETO. TriMark Hockenbergs' liability hereunder and Buyer's exclusive remedy hereunder is expressly limited to the replacement (in the form originally shipped) of goods not complying with this Agreement or, at TriMark Hockenbergs' election, to credit Buyer with an amount equal to the purchase price of such goods, whether claims are for breach of warranty, negligence or otherwise.

If you are in agreement with the aforementioned terms, prices, specifications and conditions, please sign a copy of this contract and return it to the undersigned at our offices, accompanied by any required advance payment.

Thank you for the opportunity to offer our quotation. We look forward to receiving your valued order.

TriMark Hockenbergs

Acceptance _____ Date _____

Print Name_____

Company Name _____

Acceptance: _____ Date: _____

Printed Name: _____

Project Grand Total: $733,301.88

Section 4

Appendix G: Arena Seating and Sealant Proposals

CABLE DAHMER ARENA

HUSSEY SINCE 1835 husseyseating™

YOUR PARTNER FOR SEATING SOLUTIONS

Proposal for Cable Dahmer Arena

Base Bid Cost

Description	Qty	Pricing
West End Zone MXP Telescopic Platform with Metro Seats	478	$950,000
Add for Cupholders	478	$6,000

Alternates for Consideration

Description	Qty	Pricing
Sidelines and East End Zone Maxam Plus Telescopic Platform with Metro Seats	1,132	$1,200,000
Sidelines and East End Zone MXP Telescopic Platform with Metro Seats	1,132	$1,650,000
Add Concrete Mounted Rails to West End Zone	16	$14,771
Add End Curtains West End Zone	1	$6,960
Add End Curtains for Sidelines & East End Zone	1	$20,800
Add for Cupholders	1,132	$14,206

CABLE DAHMER ARENA

Hussey husseyseating™ YOUR PARTNER FOR SEATING SOLUTIONS

Notes:

- Existing balcony rails behind platforms to be removed when platforms are in place to prevent interference.
- Platform quote is based on a closed back dasher. An open back dasher may require an altered design with added cost.
- Vomitory through west endzone platform is designed to be 13’-0” wide x 15’-0” high.
- ADA platforms may need modification around the redesigned west endzone platform. Modifications will be done by others.
- Alternate add for end guard rails are based on the standard Hussey Seating Company rail design and attachment.
- Alternate add for end guard rails based on concrete risers and treads having a depth of 3” and 2”, respectively, free and clear of reinforced steel (rebar) and wire mesh.
- For alternate add with end guard rails the concrete treads must be a minimum of 4” thick and risers must be a minimum of 4 ½” thick.
- Quote assumes concrete has a minimum compressive strength of 4000 psi for normal weight concrete and 5,000 psi for light weight concrete.

Notes:

- Demolition and removal of existing platforms included in this price.
- Taxes, Permitting and Bonds are not included in this price.
- Labor rates quote for on-site installation are open shop (non-union).
- Submittal drawings and seat manifest are included in the cost of our bid.
- Does not include steps through dasher to ice cover.
- Front steps designed to egress down to concrete floor when dasher is removed.
- Aisle lights are not included.
- Storage carts for end rails are included.
- Final cleaning after installation by others.
- Pricing is predicated on attached schedule. Any deviation (earlier or later) will require repricing due to steel market volatility.
- Pricing assumes a 2022 purchase with a 2023 delivery

CABLE DAHMER ARENA

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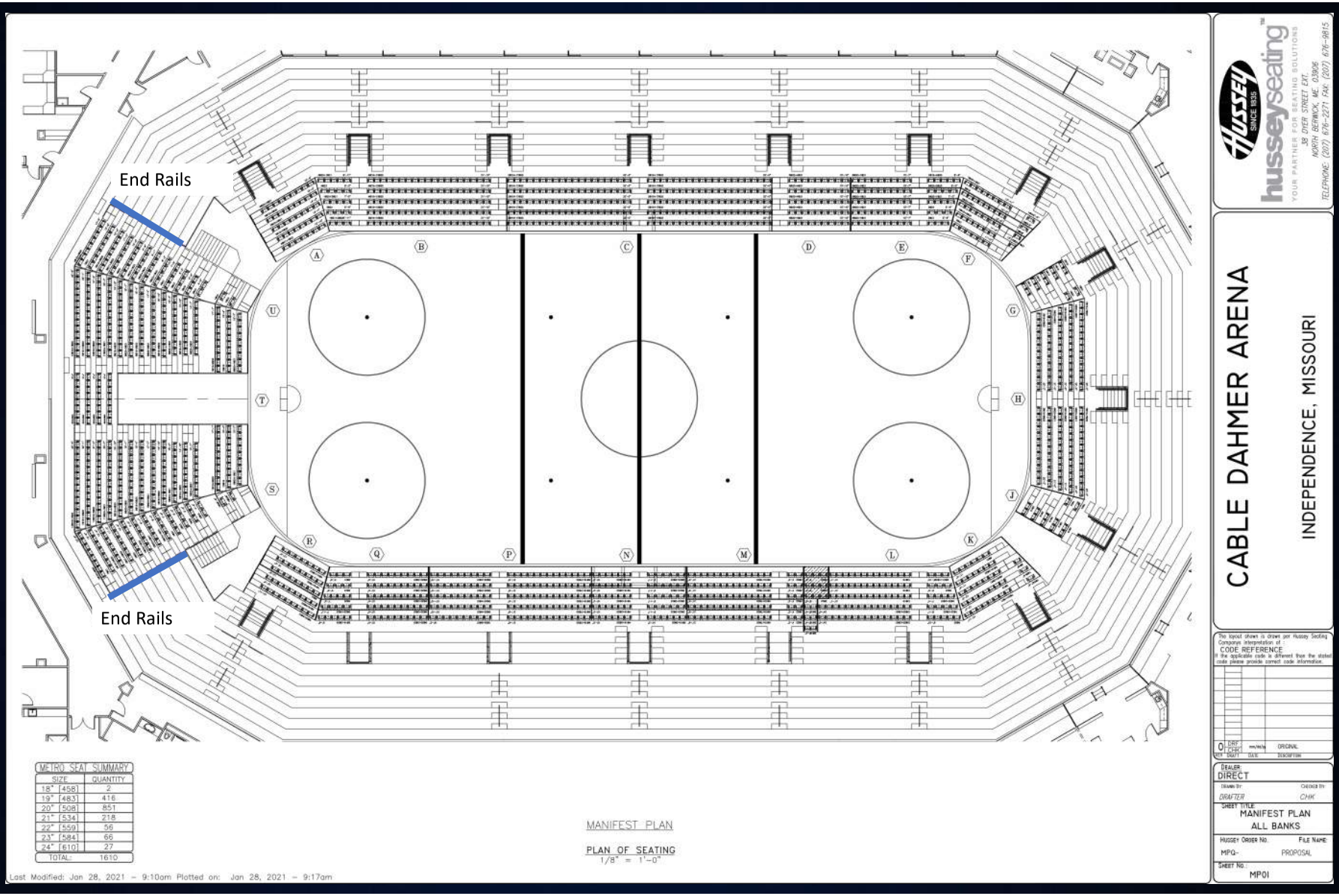
Arena Plan View

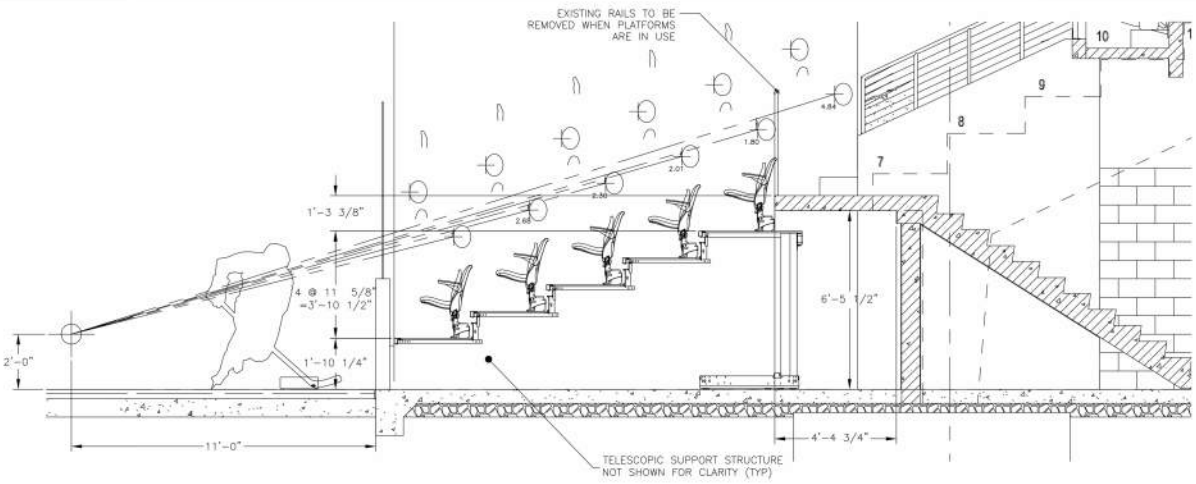


METRO SEAT SUMMARY	
SIZE	QUANTITY
18" [458]	2
19" [483]	416
20" [508]	851
21" [534]	218
22" [559]	56
23" [584]	66
24" [610]	27
TOTAL:	1610

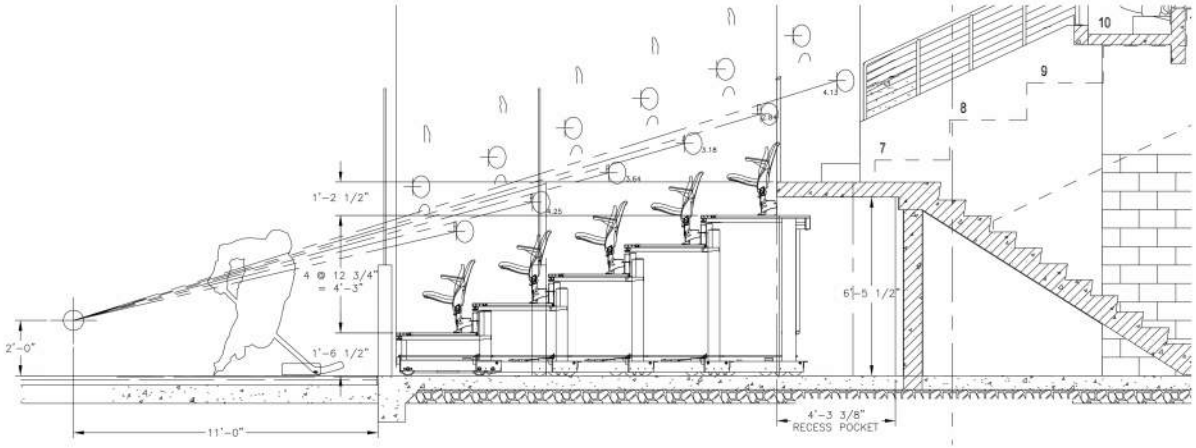
CABLE DAHMER ARENA

Arena Configurations

Sideline Section



BASE OPTION: MAXAM PLUS STANDARD RISE



ALTERNATE OPTION: MXP PLATFORM – MATCHES EXISTING RISE

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CABLE DAHMER ARENA

INDEPENDENCE, MISSOURI

The layout shown is drawn per Hussey Seating Companys interpretation of :
CODE REFERENCE
If the applicable code is different from the stated code please provide correct code information.

REV	DRAFT	DATE	DESCRIPTION
0	RET PART	mm/dd/yy	ORIGINAL

DEALER: DIRECT

DRAWN BY: DRAFTER
CHECKED BY: CHK

SHEET TITLE: SECTION VIEWS ALL BANKS

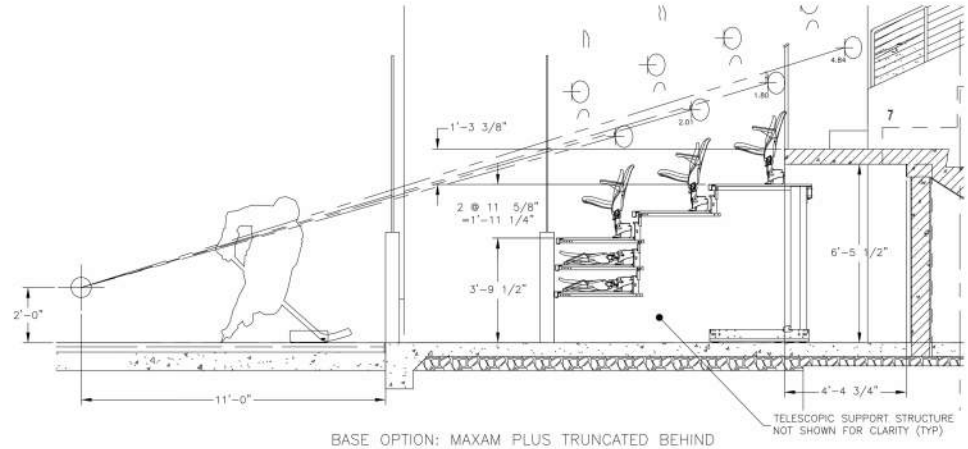
HUSSEY ORDER NO.: MPQ-
FILE NAME: PROPOSAL

SHEET NO.: SC01

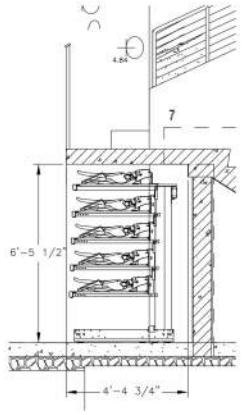
Last Modified: Jan 28, 2021 – 9:10am Plotted on: Jan 28, 2021 – 9:17am

CABLE DAHMER ARENA

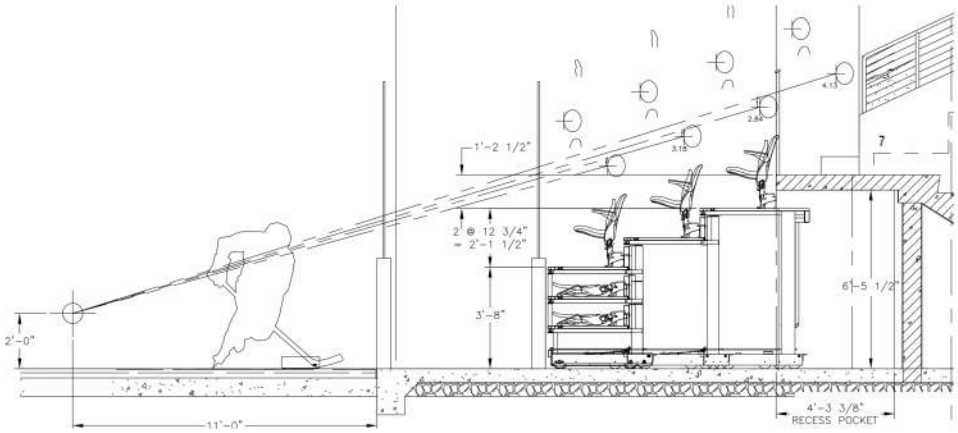
Sideline Section



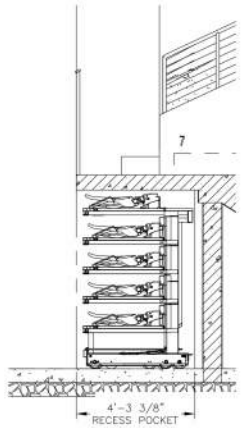
BASE OPTION: MAXAM PLUS TRUNCATED BEHIND PLAYER/PENALTY BOXES



BASE OPTION: MAXAM PLUS STORED POSITION



ALTERNATE OPTION: MXP TRUNCATED BEHIND PLAYER/PENALTY BOX



ALTERNATE OPTION: MXP STORED POSITION

Last Modified: Jan 28, 2021 – 9:10am Plotted on: Jan 28, 2021 – 9:18am

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CABLE DAHMER ARENA

INDEPENDENCE, MISSOURI

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CODE REFERENCE
If the applicable code is different from the stated code please provide correct code information.

REV	DRAFT	DATE	DESCRIPTION
0	RFT PART	mm/dd/yy	ORIGINAL

DEALER: DIRECT

DRAWN BY: DRAFTER — CHECKED BY: CHK

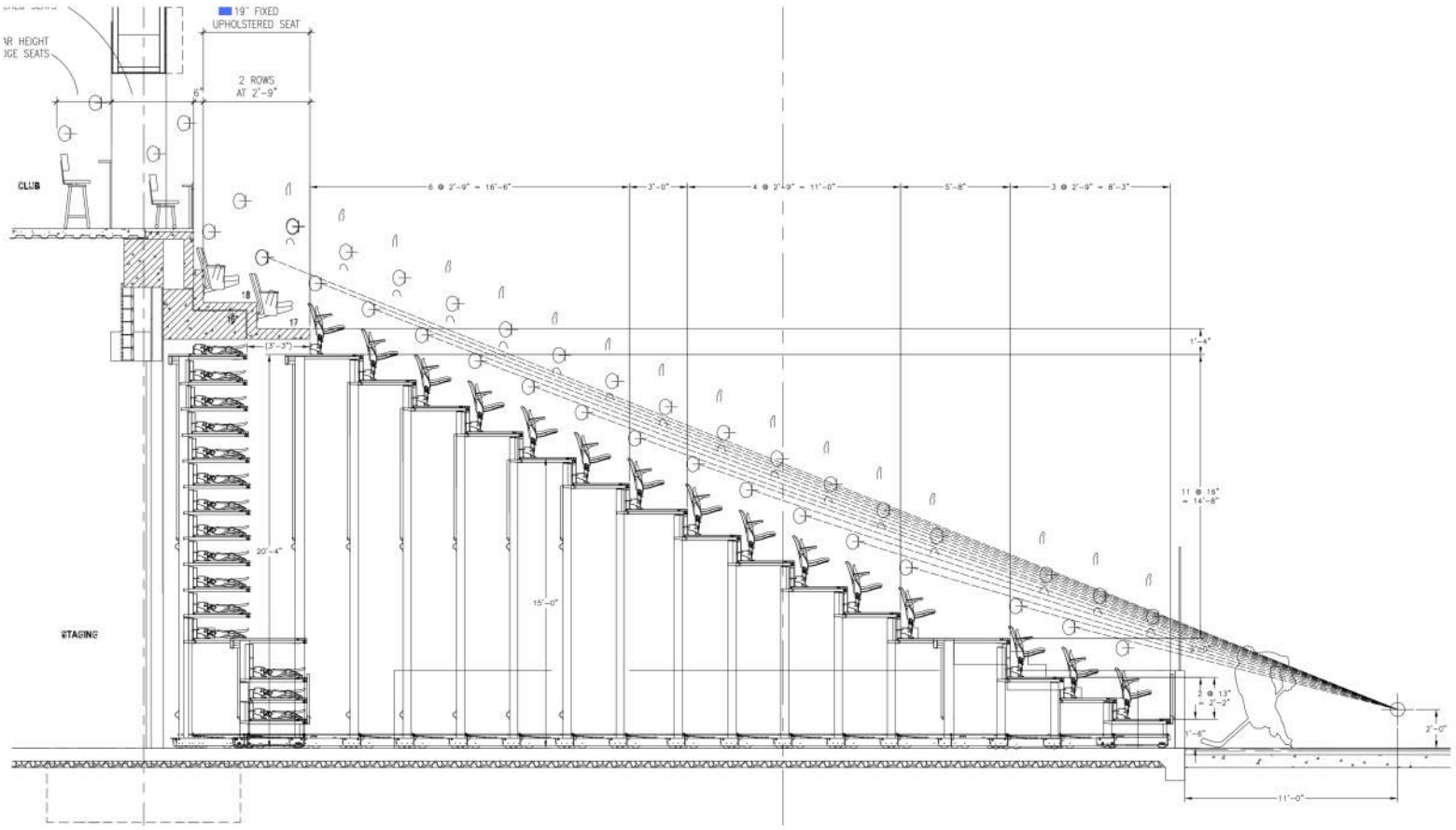
SHEET TITLE: SECTION VIEWS

HUSSEY ORDER NO.: MPQ- — FILE NAME: PROPOSAL

SHEET NO.: SC02

CABLE DAHMER ARENA

West End Zone Section



WEST ENDZONE: MXP PLATFORM

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CABLE DAHMER ARENA

INDEPENDENCE, MISSOURI

The layout shown is drawn per Hussey Seating Company's interpretation of :
CODE REFERENCE
If the applicable code is different from the stated code please provide correct code information.

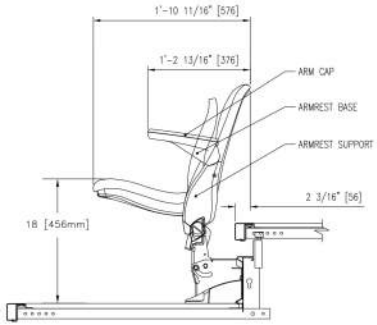
REV	DRAFT	DATE	DESCRIPTION
0	RET CHK	mm/dd/yy	ORIGINAL

DEALER: DIRECT
DRAWN BY: DRAFTER
CHECKED BY: CHK
SHEET TITLE: SECTION VIEWS ALL BANKS
HUSSEY ORDER NO.: MPQ-
FILE NAME: PROPOSAL
SHEET NO.: SC01

Last Modified: Jan 28, 2021 – 8:38am Plotted on: Jan 28, 2021 – 11:20am

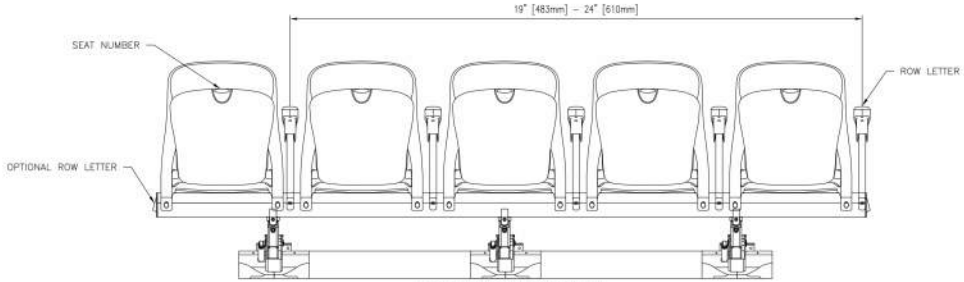
CABLE DAHMER ARENA

Details



METRO SHOWN ON A MAXAM PLUS DECK
33" [838] ROW SPACING 11 5/8" [295] RISE

THIS VIEW IS USED TO SHOW AVAILABLE CHAIR SPACING.
IT DOES NOT REFLECT THE LAYOUT USED ON THIS PROJECT.



AUTO FOLD/LIFT ASSIST OPERATION

METRO SEMI–AUTOMATED

HUSSEY SEATING COMPANY STRIVES TO CONTINUOUSLY IMPROVE ITS PRODUCT AND MANUFACTURING METHODS. THE COMPANY RESERVES THE RIGHT TO MAKE CHANGES WITHOUT NOTICE WHEN, IN THE OPINION OF THE COMPANY, SUCH CHANGES IMPROVE THE PRODUCT OR ITS PERFORMANCE.

METRO FINISH SCHEDULE

BACKS	SEATS	FABRIC	BEAM SUPPORT TYPE	ARMREST ASSY OPTIONS			ACCESSORIES
				ARM CAP	ARMCAP BASE/ACCENT COLOR	ARMREST SUPPORT	
☐ POLYMER ■ PADDED	☐ POLYMER ■ UPHOLSTERED	FABRIC TYPE: OVERTIME FABRIC COLOR: T.B.D.	☐ MANUAL W/ UNLOCK ASSIST BAR ☐ LIFT ASSIST ☐ AUTO FOLD FINISH = BLACK	☐ POLYMER ☐ WOOD ☐ UPHOLSTERED COLOR (WHEN APPLICABLE) T.B.D.	■ POLYMER ☐ POLYMER CUPHOLDER COLOR (WHEN APPLICABLE) T.B.D.	POWDER COAT COLOR T.B.D.	■ SEAT #'s ☐ ALUMINUM ☐ ECOGLOW ☐ ROW LETTERS (ARM LOCATION) ☐ ALUMINUM ☐ ECOGLOW ☐ ROW LETTERS (BEAM LOCATION) – LEXAN ONLY ☐ SPECIAL 1 3/8 OR 3 3/8 MOUNTING SPACERS ☐ DONOR PLATES ☐ CUP HOLDERS ☐ ATTIC STOCK
POLYMER COLOR T.B.D. ☐ NON UV ☐ UV ☐ FLAME RETARDENT		SEAT ACCENT COLOR (POLYMER SEATS ONLY) ☐ GRAPHITE ☐ PLATINUM ☐ TITANIUM ☐ OTHER OTHER COLOR	☐ FIXED CHAIR (REM, TOP ROW, ETC) FINISH = PLATINUM				

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CABLE DAHMER ARENA

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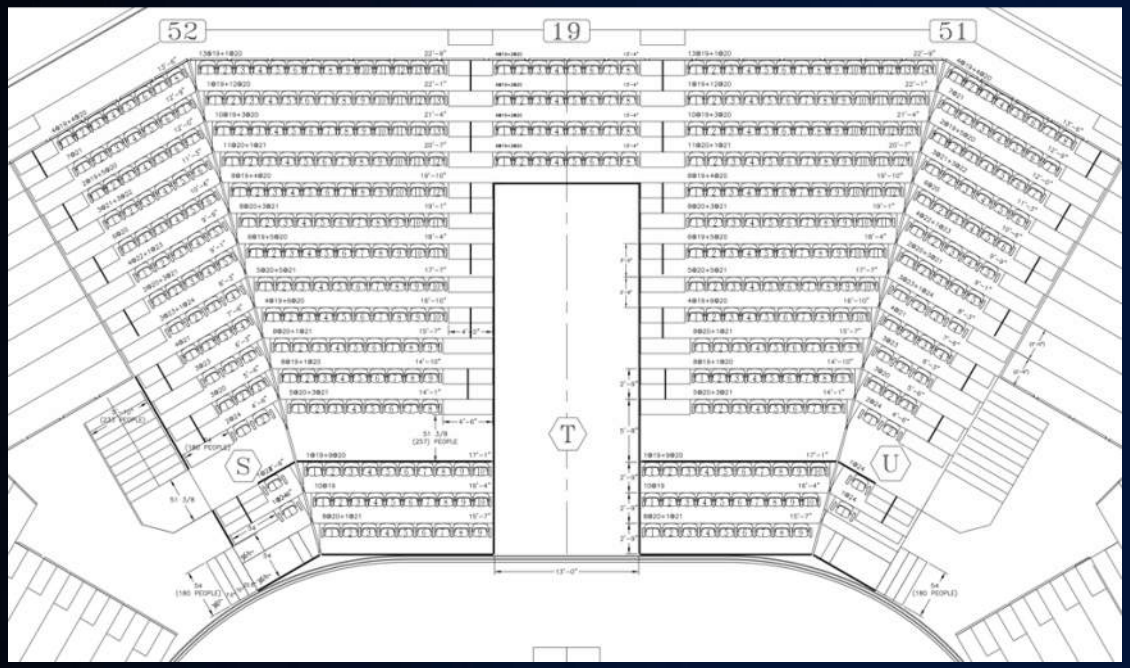
The layout shown is drawn per Hussey Seating Companys interpretation of :
CODE REFERENCE
If the applicable code is different then the stated code please provide correct code information.

REV	DRAFT	DATE	DESCRIPTION
0	RET	mm/dd/yy	ORIGINAL

DEALER: DIRECT
DRAWN BY: DRAFTER
CHECKED BY: CHK
SHEET TITLE: DETAIL VIEWS METRO CHAIRS
HUSSEY ORDER NO.: MPQ-
FILE NAME: PROPOSAL
SHEET NO.: DT04

CABLE DAHMER ARENA

West End Zone Telescopic Platform



- 478 Metro Seats on MXP Telescopic Platform
- Hinged Steel Gap Closures
- Stair Units for Egress
- Dasher Filler
- Polyvinyl walking surface
- Padded Seats and Backs with Spradling Zander vinyl fabric
- Semi-Automatic operation with gas strut lift assisted mechanism

This is a Proprietary Design by Hussey Seating Company and Not To Be Shared Outside of Your Organization as We Have Many Engineering Hours Into Having This Design Meet Egress code

CABLE DAHMER ARENA

MXP Telescopic Platform

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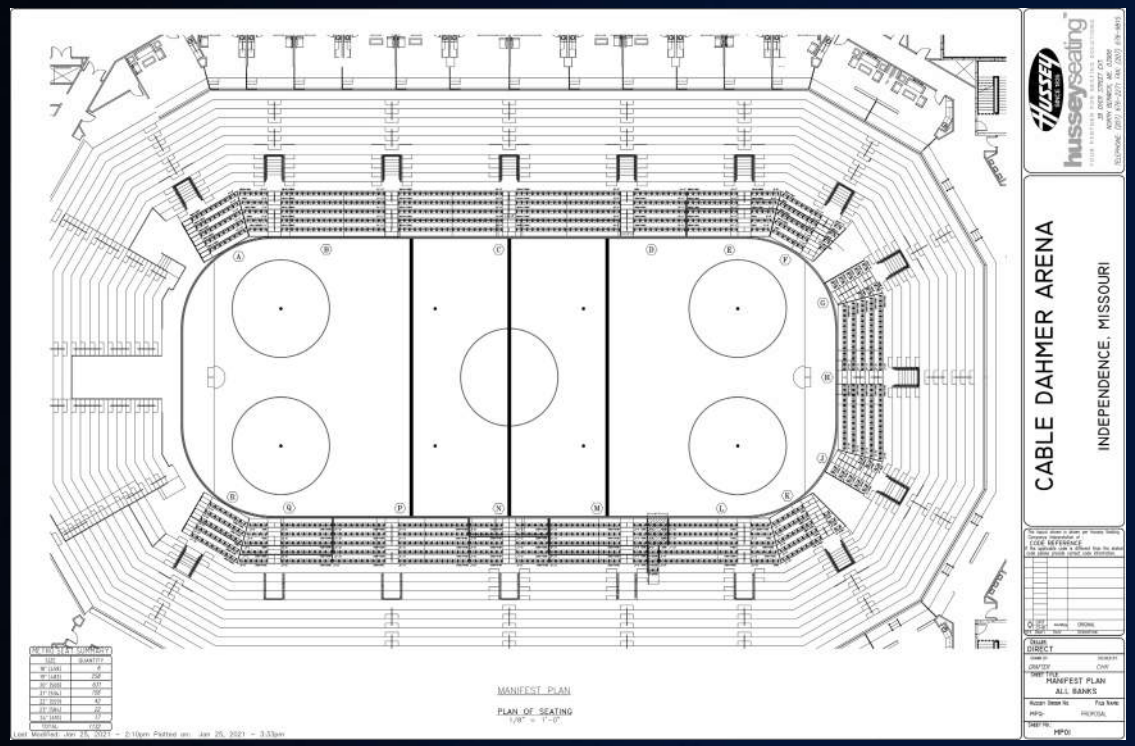
ALT - Sidelines & East End Zone Seating



- 1,132 Metro Seats
- Padded Seats and Backs with Spradling Zander vinyl fabric
- Semi-Automatic operation with gas strut lift assisted mechanism

MXP Telescopic Platform

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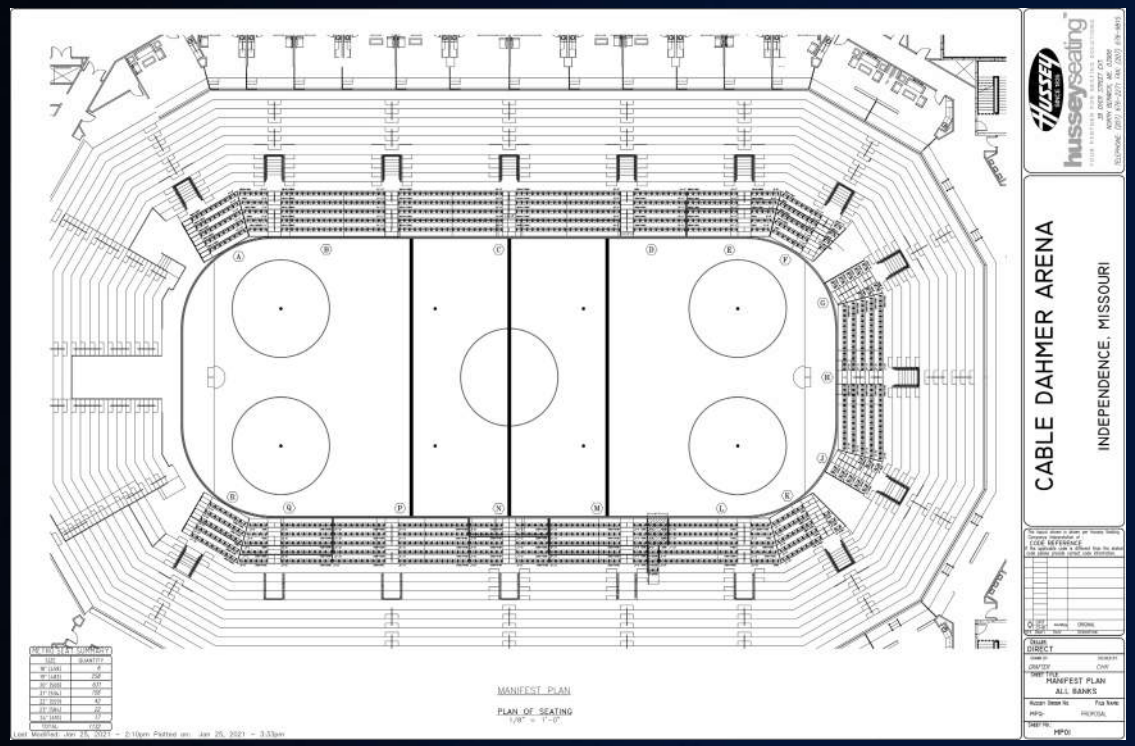
CABLE DAHMER ARENA

ALT - Sidelines & East End Zone Telescopic



- 1,132 Seats on Recessed Maxam Plus or MXP Telescopic Platform
- Hinged Steel Gap Closures
- Dasher Filler
- Polyvinyl walking surface
- 1,132 Metro Seats
- Padded Seats and Backs with Spradling Zander vinyl fabric
- Semi-Automatic operation with gas strut lift assisted mechanism

CABLE DAHMER ARENA

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MXP Telescopic Platform Highlights

- Expected 25+ Year Life Span with proper maintenance.
- MXP has been in continual use for 40 years and on its 6th generations of improvements. Recent upgrades ideas came from facility operators to make both setup and maintenance easier.
- Quick disconnect end rails only need a bolted connection on the top row. Eliminating 99% of bolted connections or clamps on each rail.
- We round all sharp corners on top and below the structure to keep both your fans and operational staff safe.
- We have the largest repair and maintenance staff in the industry to keep your equipment operational.
- Larger wheel Diameter to distribute load over floor to reduce wheel marks.

MXP™ Telescopic Platform

CABLE DAHMER ARENA

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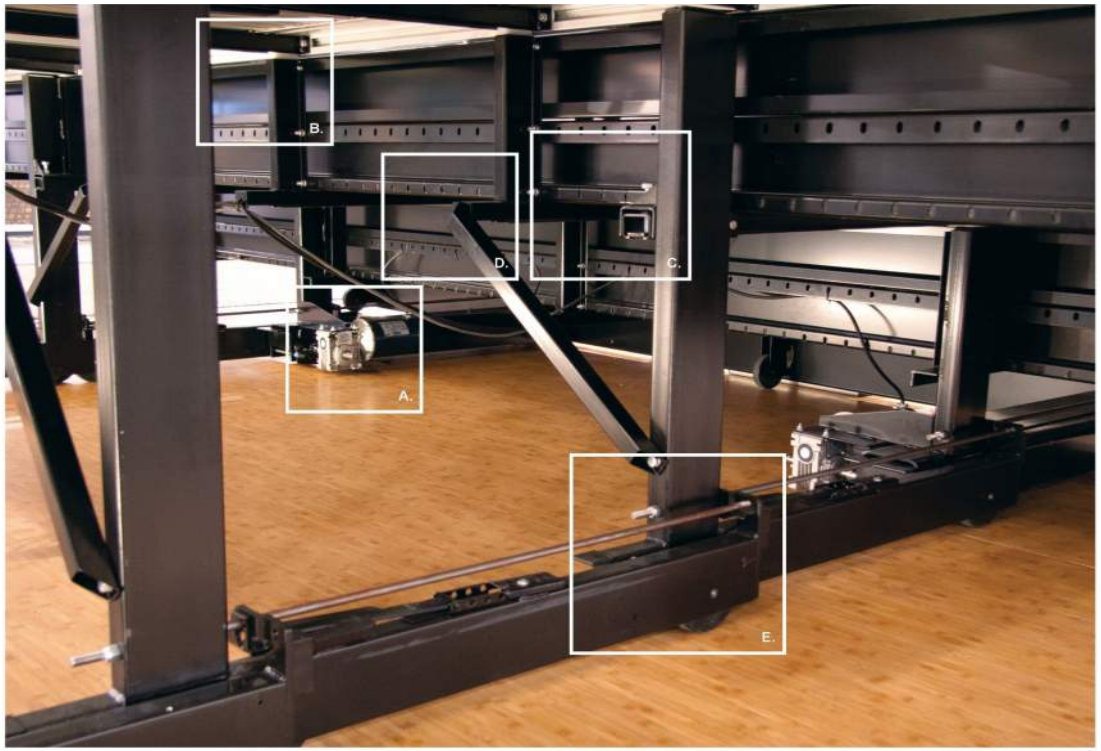
UNIQUE FEATURES FOUND ON THE MXP

MXP

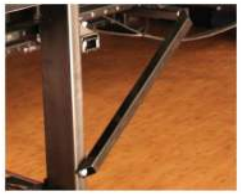
UNDERSTRUCTURE

A. Soft-Start Steerable Power
Allows 1 operator to adjust motor speed making it easier to steer large telescopic units into the right position. Other manufacturers are turning motors ON and OFF creating a jerking motion that difficult to open and close the telescopic platforms properly.

B. Fully Captive Interlocks
Fully captive upper and lower interlocks ensure the frames can never separate. Plus, the upper interlocks provide a stable, locked deck when loaded so your audience will feel safe.



C. Adjustable Cantilevers
Creating an exceptionally quiet deck and better overall operational performance, the adjustable cantilevers eliminate friction points during open / close. We use bolted connections in specific locations instead of welds to make future maintenance and repairs easy.



D. Tubular Knee Bracing
Designed to withstand heavy use and heavy loads, the tubular knee braces provide a safe, rigid walking surface. Vertical tube columns are **6" thick** for addition rigidity and strength

E. Lower Captive Interlocks and Wheels The lower interlock design nests completely, permitting a zero-offset between tiers that minimizes the closed footprint of the system. Pre-tension guide rods cannot be disengaged resulting in smooth, reliable operation. **6" diameter** wheels make the operation of the MXP easier to open and close.

1" thick aluminum deck walking surface with the serrations in the aluminum perpendicular to the walking surface creating an improved "coefficient of slip resistance" factor to reduce slip and fall accidents. Our 1" plywood with a Polyvinyl surface is also an option to reduce cost.

5 Year Warranty

Our warranty is on structure, parts, freight and labor for a full 5 years.

Estimated 25+ year life cycle of Telescopic Platform with proper maintenance.

- **Our quick connect/disconnect end rails only need one bolted connect on the top row vs bolt or clamping rails on each row.**
- Custom Rise and run heights and depths available.
- Increased ease of portability when needed to move in and out of storage with a built in intergral hydraulic dollie system.

SEATING OPTIONS

Quattro® Nose-Mount Seating

Quattro Forward-Fold Seating

Metro Semi-Automatic Seating

Gallery 3

UNIQUE FEATURES FOUND ON THE MAXAM+

A. Posi-Lock™ LX
These automatic row locks prevent accidental closure when the system is in use. This patented, innovative, low-profile design minimizes the chance of accidental damage, ensuring consistent operation.

B. Nose & Riser Beam
These rolled form structural members provide continuous deck support, and are through-bolted to the frame and stabilizers. These designs deliver unparalleled strength, durability and rigidity.

C. Continuous Positive Interglide
This interlocking glide system is a rigid, one-piece formed design which tracks better and operates easier than systems with 1/2" (13 mm) row to row engagement. The 10" (254 mm) minimum interlock provides the industry's most rigid, stable design. Our wheels are 5" (127 mm), resulting in less rolling friction.

D. Captive Interlock & Adjustable Row Stops
The Captive Interlock System engages and aligns deck to deck. In addition, MAXAM® can be configured for three different row-spacing setups—adjustable on-site if required. MAXAM incorporates three stabilizer assemblies per section to provide improved tracking and stability.

E. Independently Locking Flex-Row™
Each Flex-Row is equipped with an independent self-locking mechanism to deliver maximum flexibility, performance and safety.

F. Full-Length Captured Decking
Decking is captive in the riser beam and rests on the nose, firmly secured by the seat bracket. This system provides a stiff, secure walking surface with no exposed hardware. MAXAM is the only telescopic gym seat that utilizes transverse decking, using decking materials in accordance with their industry span rating. Thoroughly load tested and independently verified, MAXAM's continuous full-length deck support system provides an enhanced level of performance, safety and stability.

G. Slant Frame Design
Load-tested and certified for 30 tier single stack sections up to 25' 6" (7772 mm), our slant frame design delivers improved cantilever strength and capacity. It also simplifies the installation process, reducing downtime for the facility. Critical support areas are all fastened with bolts, lock washers and hex nuts. Only MAXAM incorporates a steel to steel connection where the frame meets the wall, creating a stronger union and a safer gym seat.

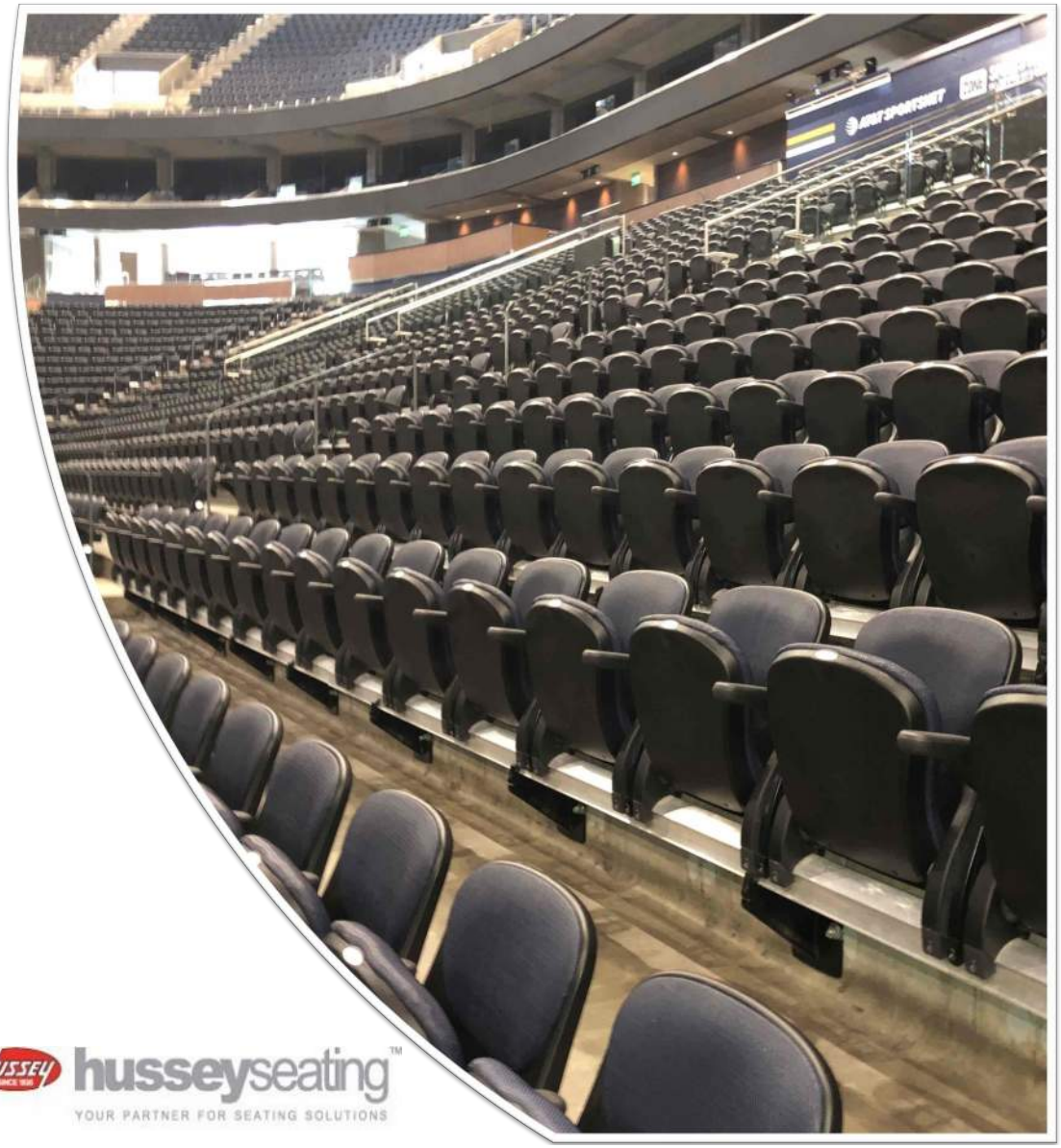
H. Tension Bracing
Through bolted to the frame to provide additional stability. All bracing is coined to remove sharp edges, and all ends are rounded for safety.

Comfortable Telescopic Platforms are no longer a dream, courtesy of the wide variety of seating solutions that both our MAXAM+™ and MXP Telescopics can support. Sleek, slim and easy to install, the Metro™ line is a giant leap towards getting the most out of your facility. Available in both telescopic and fixed versions, Metro allows perfect continuity throughout a facility. Metro features whisper-quiet seat operation and fits in an amazingly tiny 6 ½" (165 mm) stored envelope.

Metro seats easily fit into both new and existing facility dimensions. The beam-based system allows easy adjustment and makes future maintenance, chair replacement and upgrading a breeze. Composite finishes from all polymer to fully padded seats provide patrons with a singularly comfortable game time experience with this ergonomically designed seat. Gas strut lift assist mechanisms and the ability to quickly adjust the seat to limit movement make this seat a fan of the facilities operations staff.

IMPROVE YOUR FAN EXPERIENCE WITH METRO SEAT

- The Metro seats incorporate both comfort and style. The entire seat is molded using advanced engineering polymers, and is available in 18", 19", 20", 21" & 22" standard widths (or any variation in-between).
- Metro has a full line of arm options including polymer, upholstered and wood, as well as cup holders, and many other accessories.
- Metro chairs are available with polymer-finish seats and backs, or upholstered back pads and seats. They're also available in a fully enveloped seat Equipped with our folding tablet arm. Combinations of back and seat styles are also available to allow further differentiation of seating sections.
- Metro may be deployed with or without arms and the seat width is easily varied for ideal seating layouts or to maximize capacity.
- Metro is available with **a** choice of either semi automated (2-14 chairs) or manual (1-4 chairs) fold-down mechanisms.
- Available in both standard and customer colors.



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38 Dyer Street Extension
North Berwick, Maine 03906 USA
Tel: +1.207.676.2271 • Fax: +1.207.676.2222
www.husseyseating.com

Quattro Performance Polymer n Metro

983 Black | 268 Purple | 504 Burgundy | Platinum | Titanium

050 Grey | 194 Red | 156 Tan | 411 Slate | Graphite

289 Dark Blue | 187 Bright Red | 125 Gold

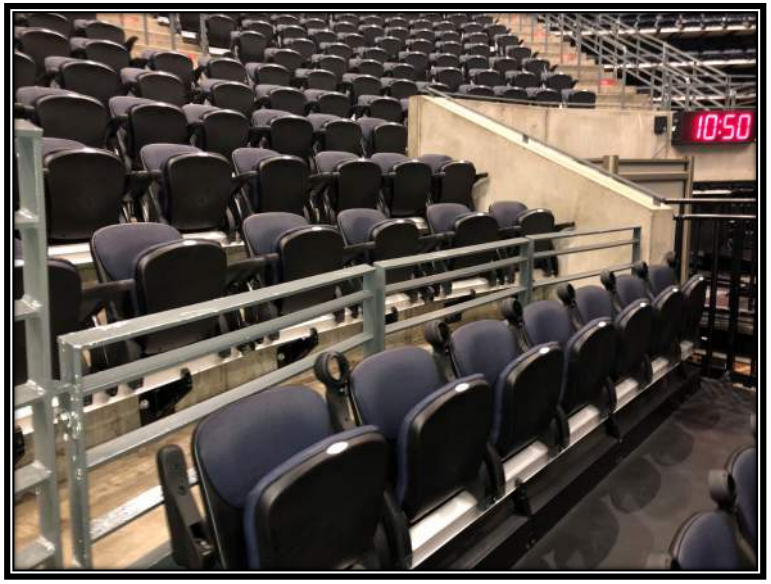
301 Blue | 116 Bright Yellow | 452 Sand

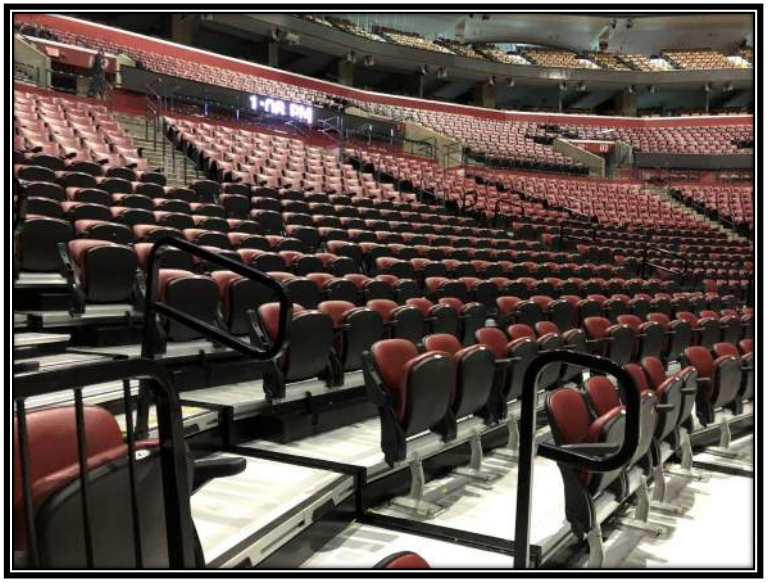
627 Legend Green | 172 Orange | 000 White

When you specify Hussey, you get great seating and an unbeatable range of features, including our extensive paint and polymer options for our Quattro Performance Polymer and Metro seating lines. With 18 Standard Colors (shown here) plus our optional colors (Custom colors and Pantone® matching capacity - all for additional cost), your seating can be nearly any color you can dream up.

Production polymer and paint colors can vary widely from printed samples. Polymer surface textures vary by product. So for all final decisions, please refer to production sample chips available from your Hussey Dealer.

All color numbers listed on here are approximate Pantone® equivalents. Please refer to production sample chips for true reference.





Phone: 816-903-7699 Fax: 816-903-4239

June 18, 2021

Cable Dahmer Arena
ATTN:Larry White

Project: Cable Dahmer Arena

Kpoxy Construction LLC agrees to supply all labor, material and insurance necessary to complete the following scopes of work on the above mentioned project.

Addendum Acknowledged: 0

Section 079200 – Joint Sealants

Division 7- Building Sealants

- **Work includes removal and replacement of joint sealants @ all stair sections around the entire inside of the arena.**
- **Removal and replacement of sealant at joint that runs vertical up the arena and runs under the seats. Total of 21 joints.**
- **Removal and replacement of chairs to complete joint sealant underneath.**
- **All above work includes removal using caulking cutters, priming of the joint and replacement of sealant.**
- **Per foot price is $10.06.**
- **Per foot price is only valid with a minimum of 50% of the work granted at one time.**

Excludes: Horizontal joint that runs around the entire perimeter of arena behind the seats.

BASE BID: TWENTY NINE THOUSAND SEVEN HUNDRED SEVENTY FOUR DOLLARS and NO 00/100s ($29,774.00)

SPECIAL CONDITIONS:

1. All invoices are due within 30 days of invoice date. Late fees of ½% per week will be added to invoices over 30 days.
2. This proposal when signed will become a binding contract.
3. The proposal values shall remain in effect for a period not to exceed 30 days.
4. All of the work area shall be available to the contractor at one time.
5. The proposal value is based on performance of the work during normal business hours, Monday through Friday unless specified otherwise in this proposal.
6. All change orders or extra work will be agreed to by both parties in writing before work begins.
7. The proposal values are not inclusive of costs associated with bonds, permits, inspection and testing.
8. Moving of others equipment or supplies from work areas shall be provided by others.
9. All legal disputes arising from this proposal will be resolved in Clay County, Missouri.
10. Legal cost resulting from non-payment, delayed payment or damages shall be reimbursed including interest from due date.
11. All work will be done under Kpoxy Construction LLC standard limits of insurance.

Respectfully,
Kpoxy Construction LLC.

Gunnar L. Lovekamp
Estimator

By signing this proposal, the purchaser accepts as a binding contract all of its terms and conditions. No modifications shall become a part of the contract unless specifically agreed to in writing by Kpoxy Construction LLC.

Company: _____

Authorized Signature: _____

Date: _____