

**project synopsis:**

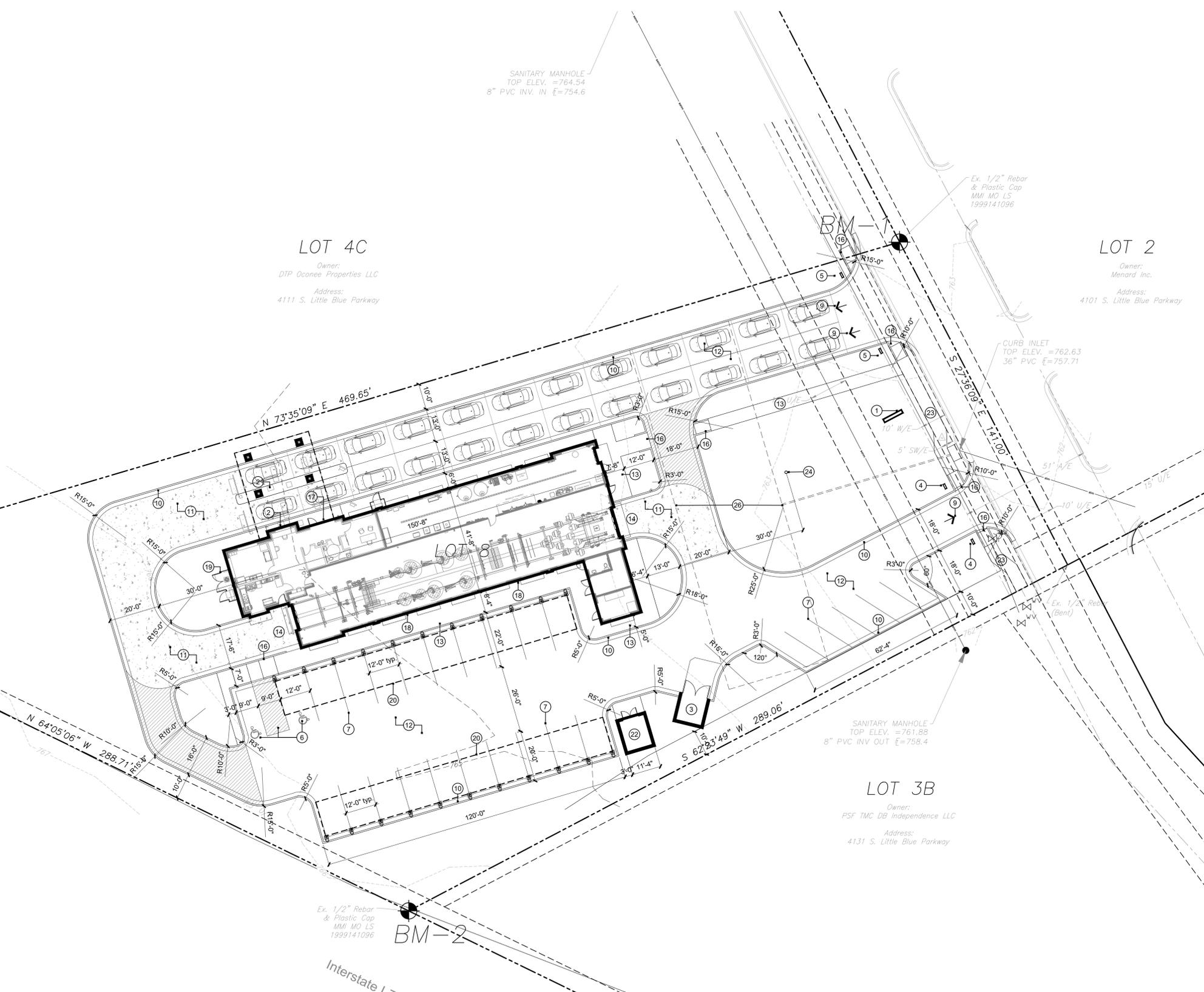
Governing Municipality: Independence, Missouri  
 Governing Code: 2018 International Building Code  
 Project Manager / Point of Contact: Karsten W. Erdman  
 Davidson Architecture & Engineering  
 4301 Indian Creek Parkway  
 Overland Park, Kansas 66207  
 p: 913.451.9390  
 Owner: McBee Coffee 'N' Carwash, Inc.  
 103 Industrial Parkway  
 Gallatin, MO 64640  
 Civil Engineer: Hilary Zerr, PE  
 Davidson Architecture & Engineering  
 4301 Indian Creek Parkway  
 Overland Park, Kansas 66207  
 p: 913.451.9390  
 Site Area: 66,032 ± sq. ft., 1.51 ± acres  
 Building Area: 6,503 sq. ft.  
 Zoning: BP / PUD  
 Proposed Imperv. Area: 39,593 ± sq. ft. (0.908 acres) 60.00%  
 Proposed Green Space: 26,439 ± sq. ft. (0.607 acres) 40.00%  
 Parking: 19 standard vacuum bays  
 1 handicap vacuum bay  
 6 standard employee spaces  
 1 handicap employee space  
 Total = 27 spaces provided

**general notes:**

- All construction shall conform to the standards and specifications of Independence, Missouri.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify exist. surface & subsurface ground conditions prior to start of construction.
- Slopes shall maintain a maximum 3:1 slope.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- General contractor and all subcontractors must register with the Building Department before issuance of permit.
- Energy code requirements and inspections are to be performed by a third party inspector, supplied by General Contractor and/or owner. The City will not perform energy related inspections, however, documentation is required to verify compliance of the energy code requirements.
- Place silt fence per civil for erosion control.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. Contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- All exterior utility services shall be painted to match the primary building color.
- Prior to final inspection, the general contractor shall meet with the Independence Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box will be installed on the front of the building facing the street or road.
- Caulk joint at perimeter of building around sidewalk. Color to match building colors. GC shall take care not to seal any exterior finish drainage elements.

**construction notes:**

- Monument sign per detail 2/A3.2. Footing by GC and sign by signage supplier. GC shall install electrical per electrical drawings.
- Pay station equipment by others. Footings by GC and equipment by supplier. GC shall install electrical per electrical drawings and footings per equipment vendor drawings.
- Trash enclosure per detail 1/A1.2.
- Directional sign (THANK YOU / DO NOT ENTER) per detail 1/A3.2.
- Directional sign (WELCOME) per detail 1/A3.2.
- ADA parking stall per civil drawings.
- 4" solid white striping typ.
- Light pole and base per electrical drawings - GC shall install Owner furnished corrugated metal pipe as form for exposed 36" concrete base above finish grade and protect during construction.
- White thermoplastic directional markings per detail.
- Furnish and install concrete curb and gutter per civil drawings.
- Concrete paving to meet Geotechnical specifications and per civil drawings.
- Asphalt paving to meet Geotechnical specifications and per civil drawings.
- New concrete sidewalk per civil.
- Snow melt system at carwash entry and exit per plumbing drawings.
- Handicap parking sign per detail on A1.3.
- Accessible ramp at sidewalk per civil.
- Furnish and install a Knox Box at 60" a.f.g. for fire department access. Contact Fire Marshal for ordering information and to coordinate location prior to installation.
- Downspout to tie into storm system per civil drawings.
- Furnish and install mechanical screen per details on sheet A1.2.
- Vacuum canopy above per vacuum equipment supplier - Vac column piers shall be poured at a consistent elevation. Refer to equipment drawings for specific requirements.
- Approximate transformer location per electrical drawings.
- Vacuum turbine enclosure per detail 5/A1.2.
- 15' front building setback line.
- Furnish and install 30' flag pole with direct ground mounted up-light per electrical drawings - footing design by structural.
- Furnish and install 5" concrete public sidewalk per civil drawings.
- Concrete flume per civil drawings.
- Approximate location of electrical transformer per electrical drawings.
- Proposed underground detention area per civil to tie into existing curb inlet on Little Blue Parkway.



a new development for  
**McBee's Coffee 'N' Carwash**  
 4121 South Little Blue Parkway  
 Independence, Missouri 64057

date 07.14.2022  
 drawn by DAE  
 checked by DAE  
 revisions

sheet number  
**A1.1**  
 drawing type PDP/SUP  
 project number 21072-17

1 site plan  
 scale: 1" = 20'-0"



**exterior materials and finishes:**

**Brick:** face brick  
 option 1 - Bilco Brick - color: Gettysburg  
 option 2 - ACME Brick - Perla Plant East Gate - Blend 80 Symphony Western - king size - heritage texture (brick shall meet FBA-Grade "SW")  
 \* or provide equal - submit alternates to Owner for final selection

**CMU:** color 1 - Echelon, split-face - color: deep coal  
 color 2 - Echelon, smooth-face and split-face - color: gun metal grey  
 \* 8" and 12" CMU block, utilize split-face and smooth-face block  
 \* all block and mortar shall include integral water repellent.

**Stone:** applied culture stone - Centurion - stack, color: Norris Gray  
 \* or approved equal

**Stone Cap & Sill:** cast stone - Midwest Cast stone - color: 1A  
 \* or approved equal

**Mortar:** integral color: buff

**Exterior Metal Panels:**  
 mtl-1 - horizontal corrugated metal panel - Berridge - HC-16 - 7/8" corrugated - color: charcoal gray  
 mtl-2 - smooth architectural metal panel - regional supplier - color: custom match to Pac-Clad Berkshire Blue  
 mtl-3 - pre-finished soffit panel - Pac-Clad - solid soffit panel - color: Berkshire Blue

**Standing Seam Roof:** Pac-Clad - Snap-Clad standing seam - 12" spacing - color: Berkshire Blue

**Storefront Frame:** black anodized aluminum frame

**Glass:**  
 clear glass - 1" insulated, low-E glass with argon fill  
 spandrel glass - 1" insulated, low-E glass with argon fill, color - charcoal (spandrel glass locations are noted by hatch in elevations) - spandrel coating shall be applied to both glass panes in glazing system [provide samples to architect for final approval]  
 \* utilize Solarban 60 (2) - clear as basis of design  
 \* or approved equal to meet U-value of 0.29 and SHGC of 0.39

**Flashing:** fl-1 - metal cap flashing - Pac-Clad - continuous cleat - color: Berkshire blue

**Caulk:** to match adjacent wall

**Canopy:** pre-finished Lumishade sun control canopies - Mapes Industries - color: custom color to match (mtl-2)

**Bollards:** 4" & 6" diameter galvanized steel pipe bollard - painted blue to match (mtl-2)

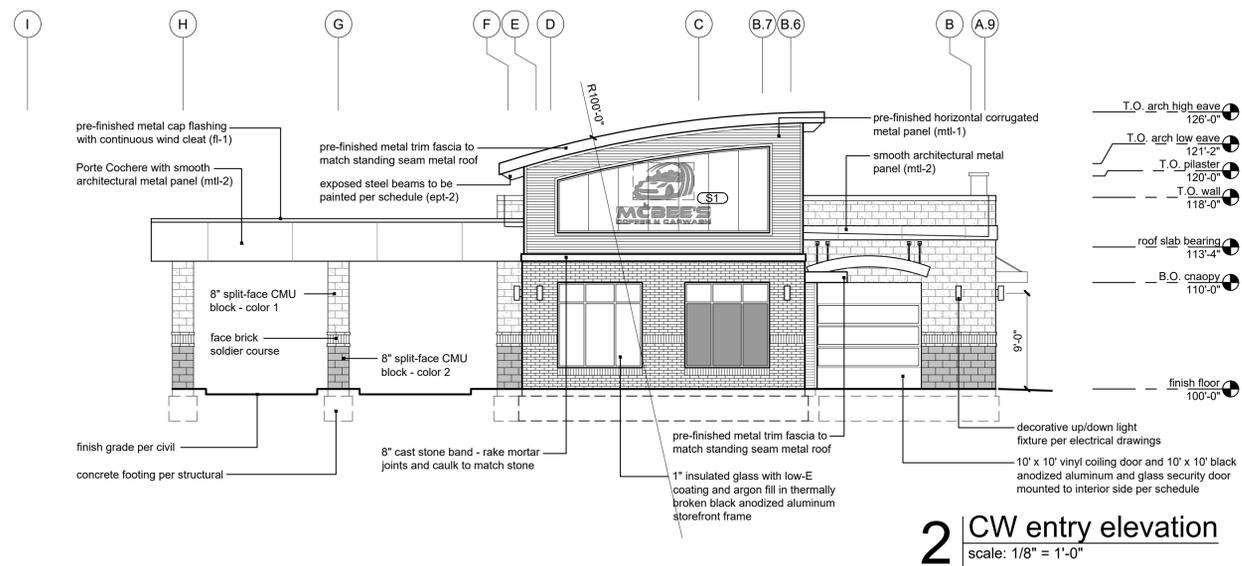
**Hollow Metal Doors:** painted to match CMU color 1

**Overhead Door:**  
 vinyl roll up door - Airlift Doors, Inc. - XRS extreme roll up series - color: black  
 aluminum glass panel door - black anodized aluminum frame with clear glass  
 metal roll up door - color: black coiling

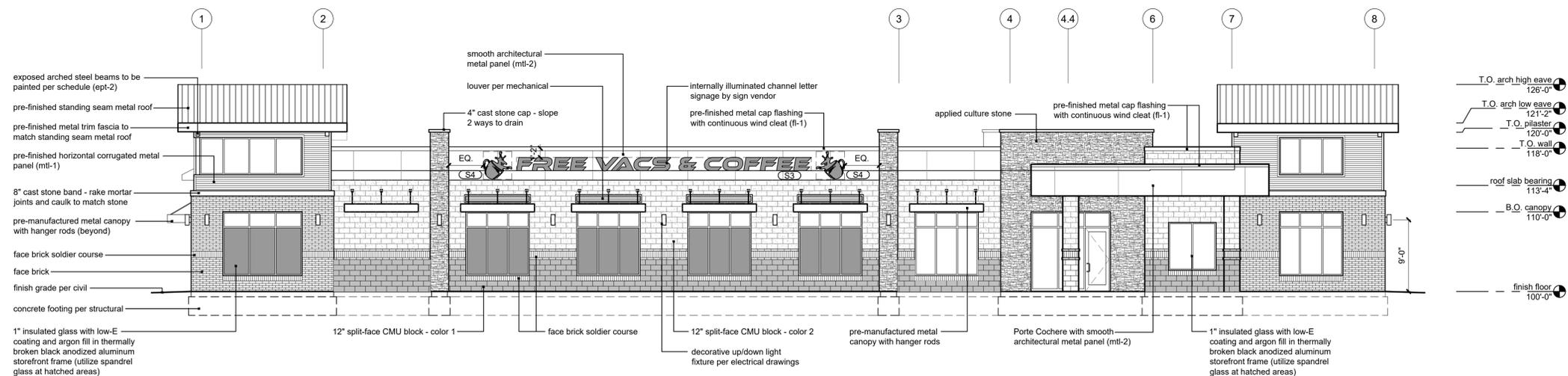
**Louver:** painted to match adjacent wall color

**Paint:** Sherwin Williams - PRO Industrial Urethane Alkyd Enamel

ept-1 - bollards - Safety Yellow  
 ept-2 - exposed arched steel - Black  
 ept-3 - exposed steel lintels - Black  
 ept-4 - mechanical screen & trash gates: Black



**2 CW entry elevation**  
 scale: 1/8" = 1'-0"



**1 front elevation**  
 scale: 1/8" = 1'-0"

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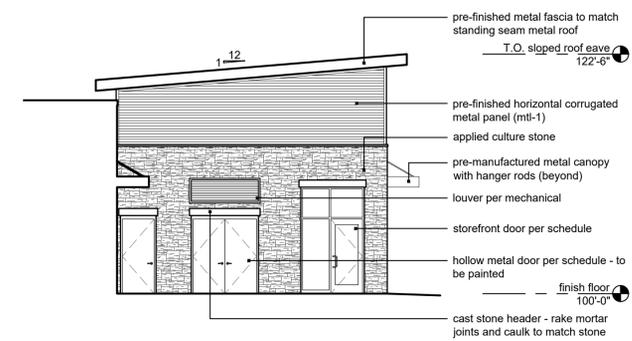
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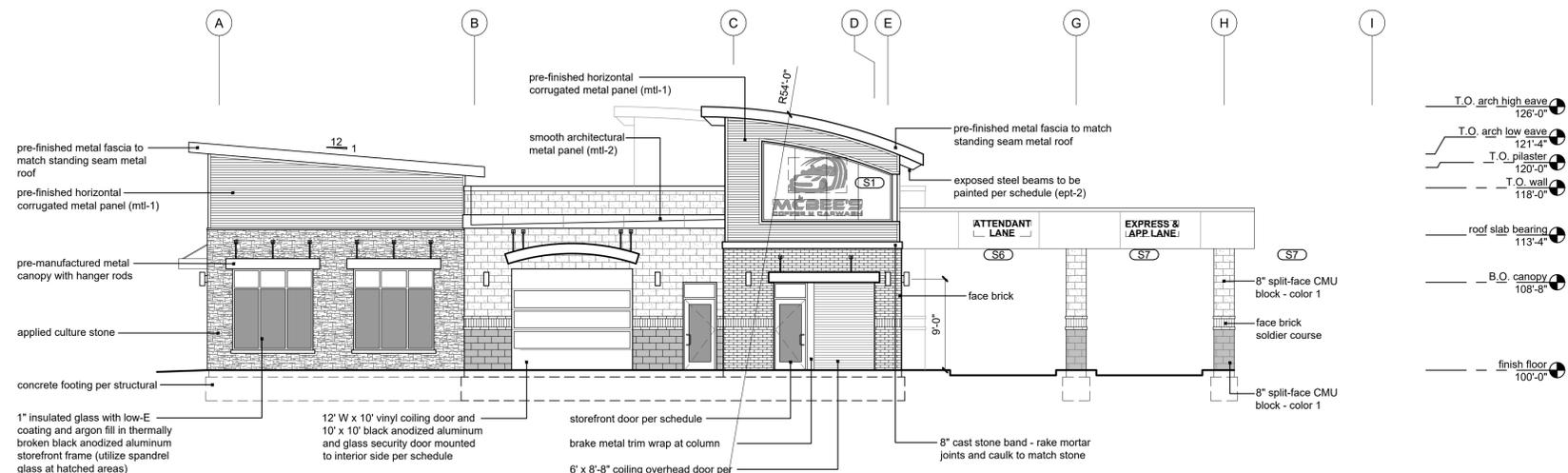
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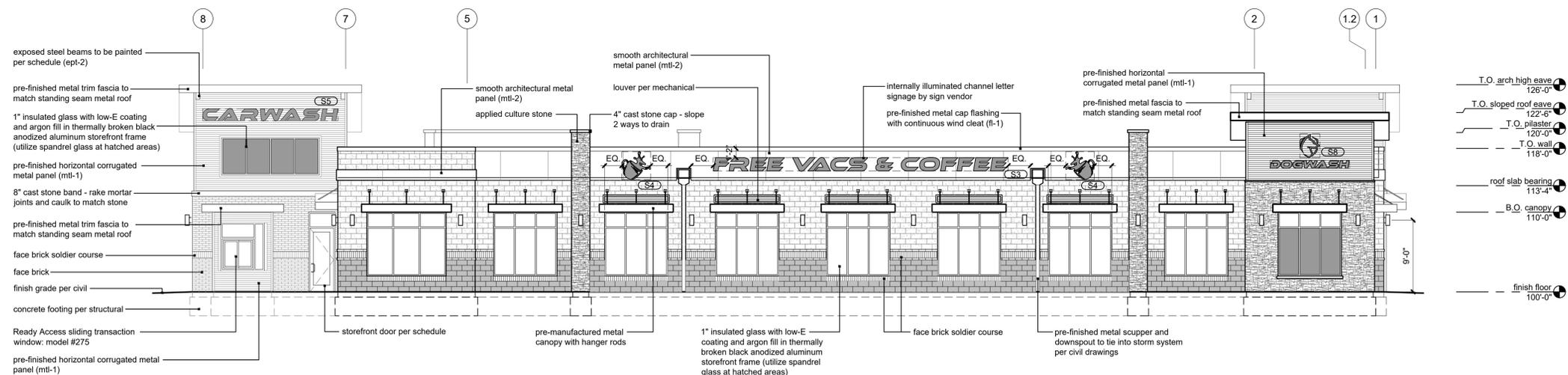
ept-1 - bollards - Safety Yellow  
 ept-2 - exposed arched steel - Black  
 ept-3 - exposed steel lintels - Black  
 ept-4 - mechanical screen & trash gates: Black



**3** restroom/turbine back elevation  
 scale: 1/8" = 1'-0"



**2** CW exit elevation  
 scale: 1/8" = 1'-0"



**1** back elevation  
 scale: 1/8" = 1'-0"

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**A3.2**

drawing type PDP/SUP

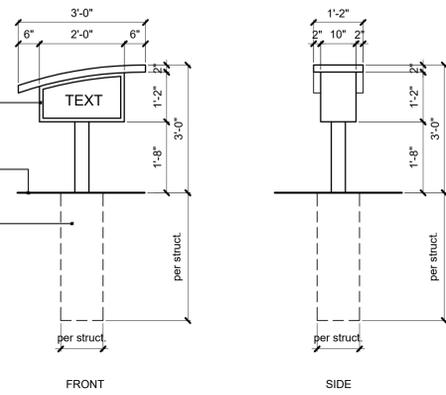
project number 21072-17

\*\* GC shall provide adequate power - verify requirements with signage supplier

pre-finished illuminated directional post by vendor - frame color black

finish grade per civil drawings

footing per structural



**1** directional sign  
scale: 1/2" = 1'-0"

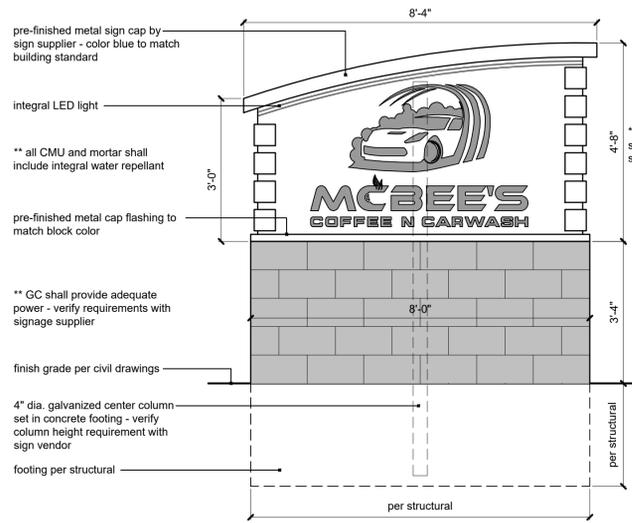
**Sign Specifications:**

- Building signs: provide conduit and wire from electrical panel to the sign. The conduit is to be 1" and have one set of 10/2 wire with ground.
- Final electrical connections for sign shall be the sign vendors responsibility since the "J" box and wires are in place.
- Pylon / monument signs: provide conduit from electrical panel to location of the pylon / monument sign base bury conduit under parking area. The conduit is to be 1" and have one set of 10/2 wire with ground.
- Provide maximum allowable signage by the AHJ.

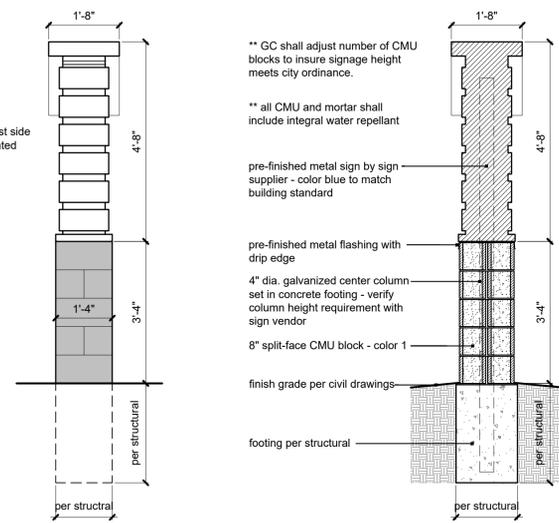
Signage Coverage			
elevation	elevation sqft.	signage sqft.	coverage %
front	3,117	87.2	2.79%
CW entry	1,290	34.2	2.65%
CW exit	1,723	59.8	3.47%
back	2,969	130.3	4.38%

Building Signage (internally lit) [##]		
sign	overall size	sign sqft.
main logo w/ tagline (S1)	8'-10" X 5'-9"	34.2
McBee Coffee N' Carwash (S2)	8'-10" X 1'-7"	14
free vacs & coffee (S3)	37'-2 1/2" X 1'-8"	62
coffee cup (S4)	3'-7 1/4" X 3'-6"	12.6
carwash (S5)	17'-1" X 1'-6"	25.6
dogwash sign (S8)	10'-0" X 4'-4"	17.5
monument sign	7'-8" X 4'-4"	30 / side
directional sign	2'-0" X 1'-0"	2

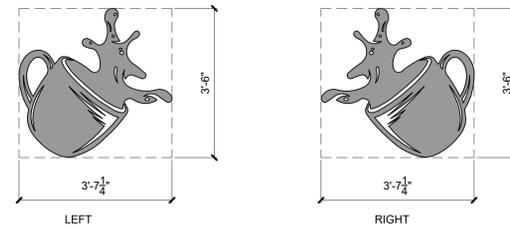
Building Signage (non-illuminated) [##]		
sign	overall size	sign sqft.
D-T attendant lane (S6)	5'-8" X 1'-7"	9
D-T express / app lane (S7)	5'-3" X 1'-7"	8.3



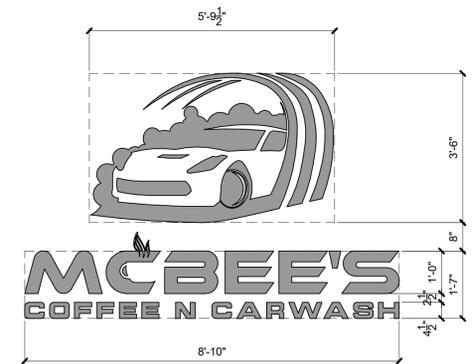
**3** monument sign elevation  
scale: 1/2" = 1'-0"



**2** monument sign section  
scale: 1/2" = 1'-0"



S4: Coffee Cup logo - internally lit sign  
scale: 1/2" = 1'-0"



S1: main logo with tagline - internally lit sign  
scale: 1/2" = 1'-0"



S7: DT Carwash / App sign  
scale: 1/2" = 1'-0"



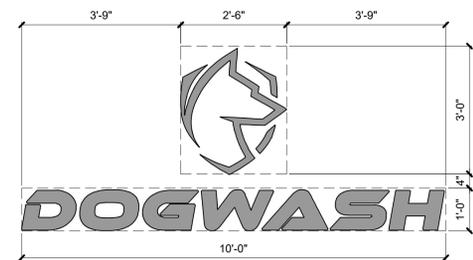
S6: D-T CNC sign  
scale: 1/2" = 1'-0"



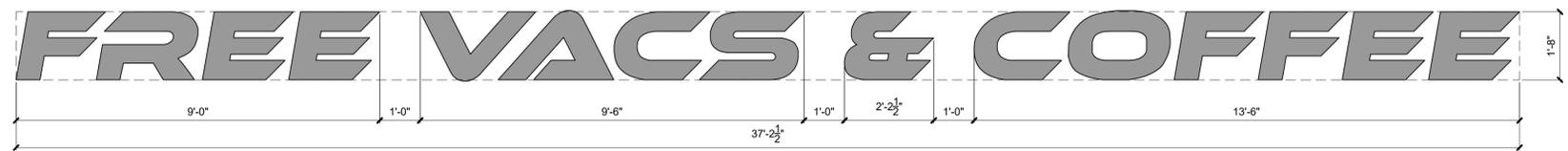
S5: Carwash logo - internally lit sign  
scale: 1/2" = 1'-0"



S2: McBee Coffee N' Carwash - internally lit sign  
scale: 1/2" = 1'-0"



S8: dogwash sign - internally lit  
scale: 1/2" = 1'-0"

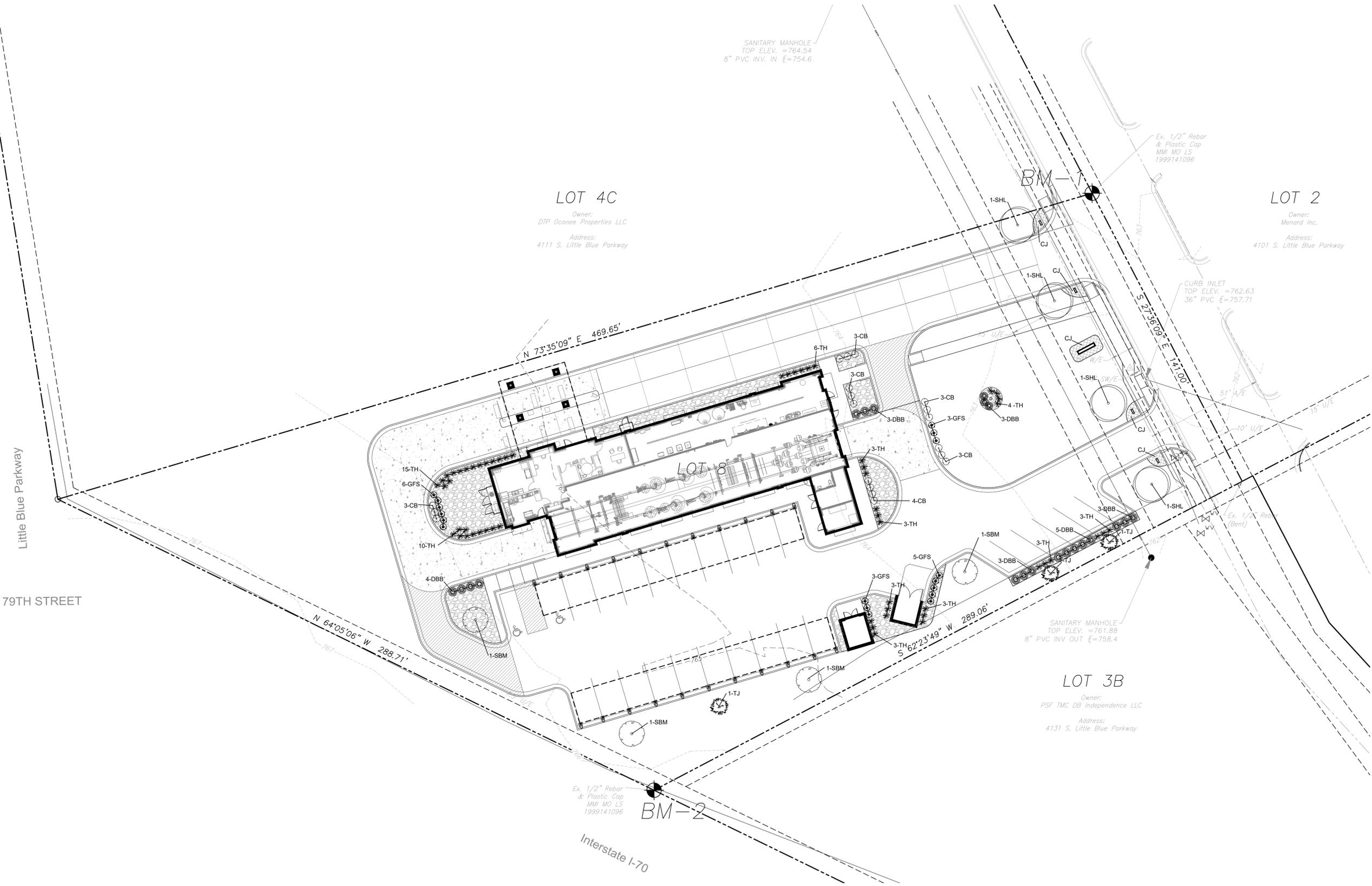


S3: McBee Coffee N' Carwash - internally lit sign  
scale: 1/2" = 1'-0"

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date: 00.00.2022  
drawn by: DAE  
checked by: DAE  
revisions:

sheet number  
**A3.3**  
drawing type: PDP/SUP  
project number: 21072-17



**LOT 4C**  
 Owner:  
 DTP Oconee Properties LLC  
 Address:  
 4111 S. Little Blue Parkway

**LOT 2**  
 Owner:  
 Menard Inc.  
 Address:  
 4101 S. Little Blue Parkway

**LOT 3B**  
 Owner:  
 PSF TMC DB Independence LLC  
 Address:  
 4131 S. Little Blue Parkway

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**1** landscape plan  
 scale: 1" = 20'-0"



Tree and Shrub Planting List							
	ITEM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION	MATURE HEIGHT	
TREES SHADE / EVERGREEN / DECIDUOUS	SHL	4	SUNBURST HONEY LOCUST	GLEDITSIA TRIACANTHOS 'SUNBURST'	2.5" CAL.	30' - 35'	
	SBM	4	SWEETBAY MAGNOLIA	MAGNOLIA VIRGINIANA	2.5" CAL.	10' - 20'	
	TJ	3	TAYLOR JUNIPER	JUNIPERUS VIRGINIANA 'TAYLOR'	6' - 8' TALL	25' - 30'	
SHRUBS	CB	19	COMMON BOXWOOD	BUXUS SEMPERVIRENS	3-5 GALLON	24" - 30"	
	GFS	17	GOLDFLAME SPIREA	SPIRAEA X BUMALDA	3-5 GALLON	24" - 30"	
	DBB	21	DWARF BURNING BUSH	EUONYMUS ALATA 'COMPACTA'	3-5 GALLON	48" - 60"	
GRASS	TH	57	TUFTED HAIRGRASS	DESCHAMPسيا CESPITOSA	1 GALLON	18" - 36"	
GROUND COVER	CJ	238 s.f.	GOLDEN CREEPING JENNY	LYSIMACHIA NUMMULARIA 'AUREA'		4" - 6"	
			1" - 3" WASHED RIVER ROCK				

### General Landscaping Notes

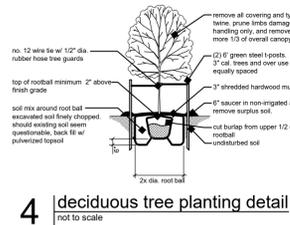
- Landscaping shall be coordinated with the location of utilities, driveways and traffic clearance zones.
- The contractor doing excavation on public right-of-way shall give 48 hours advance notice to and obtain information from utility companies.
- Prior to commencement of work, the contractor shall notify all those companies which have facilities in the near vicinity of the construction to be performed.
- Existing underground, overhead, utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies to locate their utilities before actual construction.
- Contractor shall verify location of and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor to the satisfaction of the owner at no additional expense.
- Entire site to be irrigated by underground system, including right of way as req'd. (limits of sod including all other disturbed area's and all planting beds)
- Irrigation system shall include an automatic rain sensor.
- All landscape materials shall be installed in accordance with the current planting procedures established by the most recent addition of the American Standard for Nursery Stock.
- Trees planted per this plan shall be installed during the spring (march 15 through june 15) or fall (september 15 through december 1). Written city approval will be required for planting during other times of the year.
- Stake and guy all trees per planting details.
- Install all shrubs and groundcover per planting details.
- Elevation of top of mulch shall be 1/2" below any adjacent pavement/turf areas.
- Root stimulator shall be applied to the soil backfill of each plant during installation.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- Contractor shall stake plant locations in the field and have approval by the Landscape Architect before proceeding with installation.
- Contractor shall guarantee all plant material for a period of one (1) year from date of initial acceptance. Contractor is responsible for maintaining plant material until acceptance is received. Maintenance shall include watering, maintaining plants in vertical position and shrub bed weed control.
- All plant material shall meet or exceed minimum requirements defined by the "American Standard for Nursery Stock" ANSI Z60.1.
- No plant material shall be substituted without written approval of the Landscape Architect per specifications.
- Trees and seasonal color areas shall be mulched with three (3) inches minimum shredded hardwood mulch. Planting beds as delineated shall be separated from pavement/turf areas with metal edging and mulched with three (3) inches minimum shredded hardwood mulch over weed barrier fabric, except where otherwise specified.
- All existing plant material to be retained shall be wrapped with orange, or bright, colored plastic snow fence around base of trees and around all shrubs. Stake to hold in place during construction.
- All shrubs used as parking buffer to be min. 18" tall at planting and maintained 3'-0" max. height. Install plants not to encroach upon cars parked, when at full growth.
- All trees with above a 2" caliper shall be double staked, while smaller trees shall be single staked.
- Ground mechanical and electrical equipment shall be wholly screened from street right-of-way and residential developments.
- Maximum slope shall be not greater than 3 : 1.
- All portions of site not covered by paving, mulch, plantings, etc. are to be sodded. Sod shall extend to all disturbed areas and shall include portions of right of way if necessary. Maintain positive drainage.
- Slightly mound all islands at 2" per 12' run.
- Set shrubs a minimum of 3 feet from other site structures - walls, walks or curbs.
- Any stiff branched, fruiting or plants with thorns that can damage vehicles are strictly prohibited.
- Utilize washed river rock cover at all planted areas adjacent to building perimeter and hardwood mulch in planting beds throughout remainder of site, unless noted otherwise.

### Landscaping Calculations

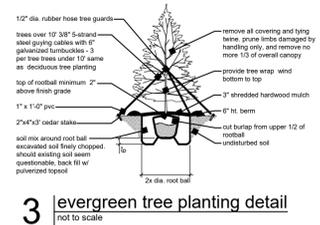
**Street Trees**  
- Private Street Frontage - 1 canopy tree per 40 l.f. @ 141 l.f. = 4 street trees required, 4 provided

**Parking Lot Perimeter:**  
- A continuous non-paved area at least ten feet in width must be located between the pedge of the parking lot and the lot line. 10' minimum provided.

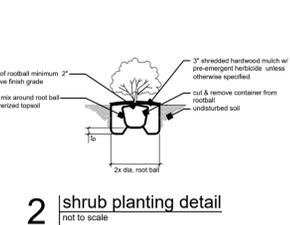
**Landscaped Open Space:**  
- BP/PUD - At least 40% of the total lot area must be landscaped open space. Total lot area = 66,032(40) = 26,413 sq. ft. landscaped open space. 26,439± sq. ft. provided.



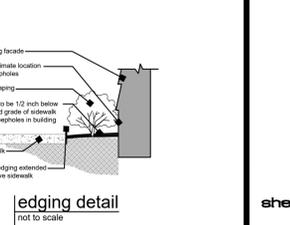
4 deciduous tree planting detail  
not to scale



3 evergreen tree planting detail  
not to scale



2 shrub planting detail  
not to scale



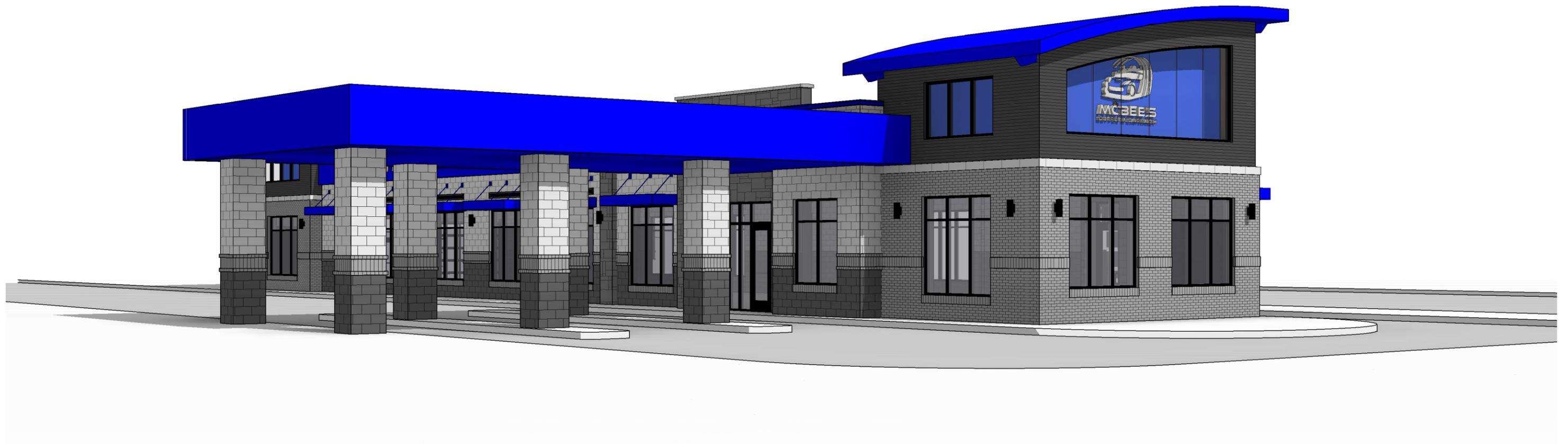
1 edging detail  
not to scale

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